



# MAIN STREET SOUTH

Heritage Conservation District Plan  
Brampton, Ontario

SEPTEMBER 2018

ERA

Cover: 56 and 58 Main Street South  
(Source: ERA).

Project # 10-073-03  
Prepared by PE / EA / EC / EC  
DRAFT Issued September 2018

---

**PREPARED FOR:**

Corporation of the City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

**PREPARED BY:**

ERA Architects Inc.  
625 Church Street, Suite 600  
Toronto, Ontario M4Y 2G1  
416-963-4497

DRAFT

# CONTENTS

<b>1.0</b>	<b>INTRODUCTION</b>	<b>6</b>
1.1	How to use this Plan	
1.2	Introduction to the District Plan	
1.3	Statement of Objectives	
1.4	Statement of Cultural Heritage Value	
1.5	Description of Heritage Attributes	
1.6	District Boundary	
1.7	Public Consultation on the District Plan	
<b>2.0</b>	<b>PROPERTY STATUS IN THE DISTRICT</b>	<b>20</b>
2.1	Designation under the Ontario Heritage Act	
2.2	Status under the District Plan	
<b>3.0</b>	<b>MUNICIPAL POLICY FRAMEWORK</b>	<b>23</b>
3.1	Overview	
3.2	Conflict between Municipal Policy and the HCD Plan	
<b>4.0</b>	<b>DISTRICT POLICIES</b>	<b>25</b>
4.1	Protect	
4.2	Manage Change	
4.3	Involve the Community	
<b>5.0</b>	<b>DISTRICT GUIDELINES</b>	<b>32</b>
5.1	Alterations to Character-Defining Buildings	
5.2	Additions to All Buildings	
5.3	Secondary Structures on All Properties	
5.4	New Construction	
5.5	Demolition	
5.6	Accessibility Considerations	
5.7	Mechanical Utilities	
5.8	Landscaping	
5.9	Lot Severance and Assembly	
5.10	General Maintenance	
5.11	Public Works	
<b>6.0</b>	<b>DISTRICT PLAN IMPLEMENTATION</b>	<b>56</b>
6.1	Heritage Permit Process	
6.2	Development Adjacent to the HCD	
6.3	Heritage Grant Program	
6.4	Local Heritage Advisory Committee	
6.5	Review of the District Plan	

<b>7.0</b>	<b>DEFINITIONS</b>	<b>68</b>
<b>8.0</b>	<b>BIBLIOGRAPHY</b>	<b>69</b>
	<b>APPENDIX A: STATEMENTS OF CONTRIBUTION</b>	<b>70</b>

## **LIST OF FIGURES**

Figure 1	Layered map demonstrating the District's lot pattern evolution over time	15
Figure 2	District boundary map	18
Figure 3	Chart identifying Character-Defining and Non-Character-Defining Buildings in the District	21
Figure 4	Map identifying Character-Defining and Non-Character-Defining Buildings in the District	22
Figure 5	Chart identifying the heritage permits required for various types of work in the District. Includes a list of works that do not require a heritage permit	58-61
Figure 6	Flow-chart demonstrating the heritage permit process for the District	63
Figure 7	Chart identifying the components that may be required for a heritage permit application submission	65

# 1.0 INTRODUCTION

## 1.1 HOW TO USE THIS PLAN

### INTENT OF THE DISTRICT PLAN

The Main Street South Heritage Conservation District (“the District”) has been established as a result of local and municipal interest in the conservation of the neighbourhood’s built and landscape character.

This document, the Heritage Conservation District Plan (“the District Plan”), is intended to be used as a shared tool to assist residents, the City and other stakeholders to understand how the District’s character can best be conserved.

Over the coming years, the District is anticipated to evolve and experience change. When change is proposed for the District, stakeholders and the City will use this document collaboratively to ensure that the proposed change is sympathetic to the District’s character.

Proposed changes may include structural repairs, exterior alterations, relocation, demolition, new construction, landscape work, minor installations and municipal *public works*.

### FINDING A PROPERTY’S STATUS IN THE DISTRICT

The first step in planning renovation work on a property is to determine the property’s status in the District. This information can be found in **Section 2.0: Property Status in the District**.

All properties in the District are legally designated under Part V of the *Ontario Heritage Act*, and they each contribute to the District’s value in some way. Some properties feature Character-Defining Buildings, which can be demolished only under exceptional circumstances, and are subject to greater conservation requirements. Properties with Non-Character-Defining Buildings contribute to the District only through the important landscape features that exist on all properties.

Regardless of property status, the District Plan only applies to the parts of a property that are visible from Main Street South, as the intent of the District is to conserve the public experience of the neighbourhood.

The City is also subject to the District Plan, for any work proposed on public property.

### UNDERSTANDING WHAT WORK IS PERMITTED

All proposed work in the District is ultimately evaluated against the intent of the objectives of the District, which can be found in **Section 1.3: Statement of Objectives**.

The **Policies in Section 4.0** are intended to direct the City on what should be permitted to achieve the District’s Objectives. The City is required to look to the Policies in Section 4.0 when evaluating proposed work in the District. Proposed works are expected to comply with the Policies in the Plan to the City’s satisfaction.

The **Guidelines in Section 5.0** exist to provide stakeholders with assistive information on how the District’s Objectives can be

achieved, and Policies met. The Guidelines elaborate on the Policies, and provide examples of ways stakeholders can meet them.

All work in the District is ultimately subject to standard municipal policies and regulations, in addition to the District's requirements. More information can be found in **Section 3.0: Municipal Policy Framework**.

#### WORKING ON A HERITAGE PROPERTY IN A HERITAGE CONSERVATION DISTRICT

**Section 6.0: Implementation of the District Plan** offers helpful information including:

- How the heritage permit process works;
- A list of types of work requiring a heritage permit, as well as those that can be undertaken without a heritage permit;
- Required submissions for a heritage permit; and,
- How to access grant funding for renovations to heritage properties.

#### READING THE DISTRICT PLAN

**Section 7.0: Definitions** defines terms commonly used throughout this document. Wherever a word or phrase is italicized, its definition can be found in Section 7.0 of this Plan.

## 1.2 INTRODUCTION TO THE DISTRICT PLAN

### WHAT IS A HERITAGE CONSERVATION DISTRICT?

A Heritage Conservation District (HCD) is an area identified as having significant *cultural heritage value*. Municipalities in Ontario can designate a geographically-defined area as an HCD under Part V of the *Ontario Heritage Act*.

HCD designation enables a City to *conserve the cultural heritage value and Heritage Attributes* of an area, as well as manage and guide future change in the HCD through the adoption of an HCD Plan. The Plan ensures that the community's heritage *conservation* objectives and stewardship are respected when decisions are made about the future of the area.

### CONTEXT OF THE HCD PLAN

The Main Street South Heritage Conservation District ("the District") follows from the Main Street South HCD Study, dated September 2014.

The Study identified that the area along Main Street South, from Wellington Street to the Etobicoke Creek, merits protection as a designated HCD under Part V of the *Ontario Heritage Act*. The Main Street South HCD Study is available at the City of Brampton offices.

When a by-law is passed to designate an HCD, the *Ontario Heritage Act* requires municipalities to adopt a district plan as an element of that by-law.

### THE CONTENT OF THE DISTRICT PLAN

In accordance with the *Ontario Heritage Act*, the content of the district plan must include:

- (a) *a statement of the objectives to be achieved in designating the area as a Heritage Conservation District;*
- (b) *a statement explaining the cultural heritage value or interest of the Heritage Conservation District;*
- (c) *a description of the Heritage Attributes of the Heritage Conservation District and of properties in the District;*
- (d) *policy statements, guidelines and procedures for achieving the stated objectives and managing change in the Heritage Conservation District; and*
- (e) *a description of the alterations or classes of alterations that are minor in nature and that the owner of property in the Heritage Conservation District may carry out or permit to be carried out on any part of the property, other than the interior of any structure or building on the property, without obtaining a permit under Section 42. 2005, c. 6, s. 31.*





52, 56 and 58 Main Street South, date unknown (Source: PAMA).



67 Main Street South, date unknown (Source: Dr. Bruce Cameron).

### 1.3 STATEMENT OF OBJECTIVES

This Statement of Objectives forms the top level of the District Plan's *conservation* framework for Main Street South.

- The Objectives set out stakeholder goals for the District's future. All future change in the District must be consistent with the Objectives in the District Plan.
- The Policies (Section 4) establish what must be done to achieve these goals. The City of Brampton is responsible for ensuring that these Policies are followed.
- The Guidelines (Section 5) assist stakeholders in understanding ways to meet the District's Policies and Objectives.

The Objectives were developed through an iterative process with local stakeholders, and organized into three overarching directive themes: Protect, Manage Change, and Involve the Community.

The Objectives aim to ensure that:

- The District's character is **protected**;
- Anticipated **change is managed** to support the District's character; and,
- The **Plan remains an effective community-based tool** to help achieve these goals.

The District Plan's Statement of Objectives is:

#### PROTECT

- To *conserve* the neighbourhood's character as defined in the District's Statement of Cultural Heritage Value.
- To *maintain* the low-density residential appearance of the District.
- To *conserve* Character-Defining Buildings.
- To *maintain* the park-like setting of the District by conserving its greenery and river-valley topography.
- To *maintain* the Main Street South tree canopy and trees in Gage Park.
- To *maintain* established patterns of built form and landscape.

## MANAGE CHANGE

- To permit alterations and additions to Character-Defining Buildings that do not diminish their *Heritage Attributes* as defined in their properties' Statements of Contribution.
- To allow for the replacement of Non-Character-Defining Buildings with new construction that is of its time and sympathetic to the District's character.
- To encourage high-quality architecture that reinforces the District's established patterns of built form and landscape.
- To encourage the reinstatement of lost or hidden original features on Character-Defining Buildings based on documentary and as-found evidence.
- To ensure municipal *public works* contribute to and do not detract from the District's character.
- To *maintain* and enhance high-quality landscapes and public open space.

## INVOLVE THE COMMUNITY

- To foster community support, pride and appreciation of the District's character.
- To work with the community to periodically evaluate the District Plan's efficiency, effectiveness and equity.
- To encourage community involvement in the review of *development* proposals in the District.

## 1.4 STATEMENT OF CULTURAL HERITAGE VALUE

### DESCRIPTION

The District is a predominantly residential neighbourhood directly south of Brampton's historic downtown. It consists of properties along Main Street South from Wellington Street and Glen Eagle Crescent (to the north) to the intersection of Main Street South and the Etobicoke Creek (to the south).

The District is visibly distinct from its surrounding areas. It is a historic residential neighbourhood, set within a park-like landscape that acts as a green corridor leading into Brampton's downtown core. The District exhibits evidence of its evolution over time, as seen in its shifting lot patterns and diverse architectural styles.

### HISTORIC RESIDENTIAL NEIGHBOURHOOD

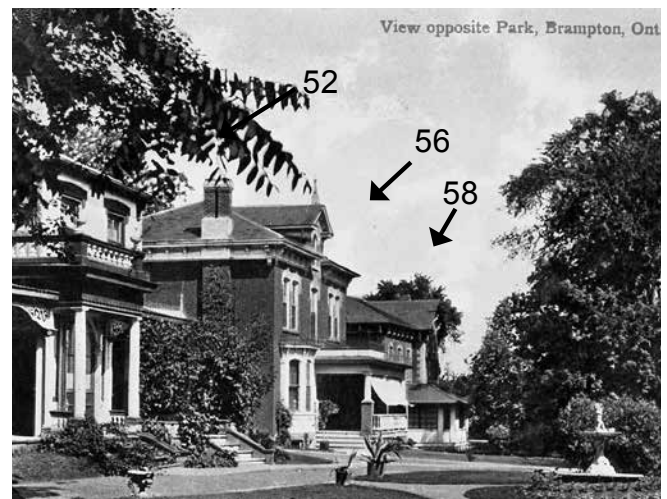
Main Street South, as part of Hurontario Street, is associated with a historic overland connection between Lake Ontario and Lake Huron, first surveyed in 1818. This route served as the control line for an 1819 survey which established six concession roads on either side. The change to urban lot patterns where Hurontario becomes Main Street South reflects Brampton's emergence as the County seat of Peel and subsequent growth into a thriving city.

Main Street South is one of the oldest residential neighbourhoods in the city. As Brampton emerged as the County seat of Peel and a thriving community by the mid-1860s, Main Street South became the preferred location for Brampton's political and business elite who wished to reside near the community's

civic, commercial, and institutional core. Main Street South was home to historically prominent Brampton residents, including John Elliott, one of the city's founding fathers, as well as civic leaders such as Kenneth Chisholm and William Perkins Bull. Some of their residences are still intact, and today they contribute associative value to the District.

These founding community members settled on the ravine lands around the Etobicoke Creek, and built country estates with an emphasis on designed landscapes and a park-like setting. The distinct ravine topography of their large lots, estate architecture and designed landscapes distinguished the neighbourhood from the downtown core. Despite the Etobicoke Creek's re-routing in 1952, its influence is still seen throughout the neighbourhood, in both the ravine topography and the remnants of creek infrastructure, such as bridge posts and retaining walls.

### HOUSES ON MAIN STREET, CIRCA 1900



52, 56 and 58 Main Street South, c.1900, Grand houses set within open landscaped grounds. (Source: Peel Art Gallery Museum and Archives)

## NATURAL HERITAGE CONTEXT



Foot bridge on Main Street South, opposite Gage Park, before the Etobicoke Creek was diverted. (Source: City of Brampton)

## PARK-LIKE GREEN CORRIDOR

The original country estates in the District established Main Street South as a neighbourhood of park-like residential lots, contributing to a green corridor into Brampton's civic and commercial core. Today, Main Street South is valued for its park-like setting and picturesque qualities, with landscape as a predominant feature. Landscaping; topographical changes; lawn terracing; long, often curvilinear, driveways; and mature trees contribute to the green corridor, framing and sometimes obscuring views of the built form in the District.

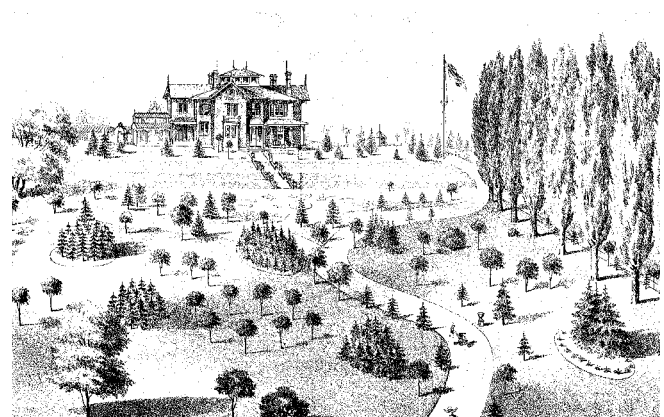
Many fine specimens of mature native tree species, particularly sugar maples, are found within the District. Trees frame the street and screen the residences. They also form a significant proportion of the downtown tree canopy. Trees in the District provide an important natural link to Brampton's open space and natural heritage system.

The manner in which the houses are situated in relation to vegetation, open space, and natural land contours gives the architecture

added significance. This relationship between landscape and the built form contributes to the park-like character of the District.

Properties throughout the District add to this sense of a park-like setting and a visual green corridor, whether their landscapes offer dramatic changes in topography and formal gardens, or simply provide supportive greenery such as grass, shrubs or mature trees.

## ALDERLEA ESTATE IN 1877



Alderlea Estate. The front gardens were purchased to form part of Gage Park, Brampton's first public park. (Source: 1877 Walkers & Miles Atlas)

## EVOLUTION OVER TIME

The Main Street South neighbourhood is valued for its predominantly residential character, expressed in house form. Both its buildings and landscape have evolved over time. This evolution is a valuable part of the neighbourhood's history.

The area's early subdivision occurred circa 1850 to create large residential lots near the Etobicoke Creek ravine. The John Guest estate lot was subdivided within the decade, creating much smaller residential lots with minimal setbacks, seen on the east side of Main between Guest and Clarence Streets.

In 1873, the southern portion of the District was subdivided in conjunction with the town's incorporation that year. The 1873 lots were more consistent with urban development patterns than country estates, but provided more generous setbacks than the Guest Plan. Amidst this urban development, remnant evidence of earlier estate lots, like the Harper Bull estate (118 Main Street South), can be seen on properties that deviate from the regular setback pattern.

The northern estate lots bounded by Main and Elizabeth Streets South were eventually subdivided at the rear, providing for urban development along Elizabeth Street. At the time, access points were maintained from Elizabeth Street to the original estate lots, creating a unique "flag lot" condition that remains today at 40 Elizabeth Street (Alderlea) and 63, 67 and 73 Main Street South. Later still, many of the District's larger lots were divided in two. The District's

lot pattern evolution is still apparent today in the diversity of lot forms and sizes along the street, and in the siting of buildings upon them.

The District's evolution can also be seen in the rich variety of architectural styles found along Main Street South. The eclectic mix ranges from Italianate and Gothic Revival estate houses; to turn-of-the-century urban development in Edwardian and Revival styles; to mid-century suburban Ranch houses; to the present. Throughout this evolution, there are consistent patterns in the neighbourhood's built form, from the use of a traditional material palette (brick, wood, stucco and stone), to heights of 1-3 storeys and varying forms of pitched roofs. The street's architectural diversity is intrinsic to the neighbourhood's development from the 1850s through to the present.

In 1902, the Town of Brampton purchased 2.4 acres from the front gardens of the Chisholm Estate, Alderlea. Subsequently, Sir William Gage donated 1.7 acres of his own front gardens, on his estate just north of Alderlea. These public lands on Lots 1 and 2 became the City's first municipal park, Gage Park. Today, the park anchors the northern terminus of the District.

## LOT PATTERN EVOLUTION IN THE DISTRICT

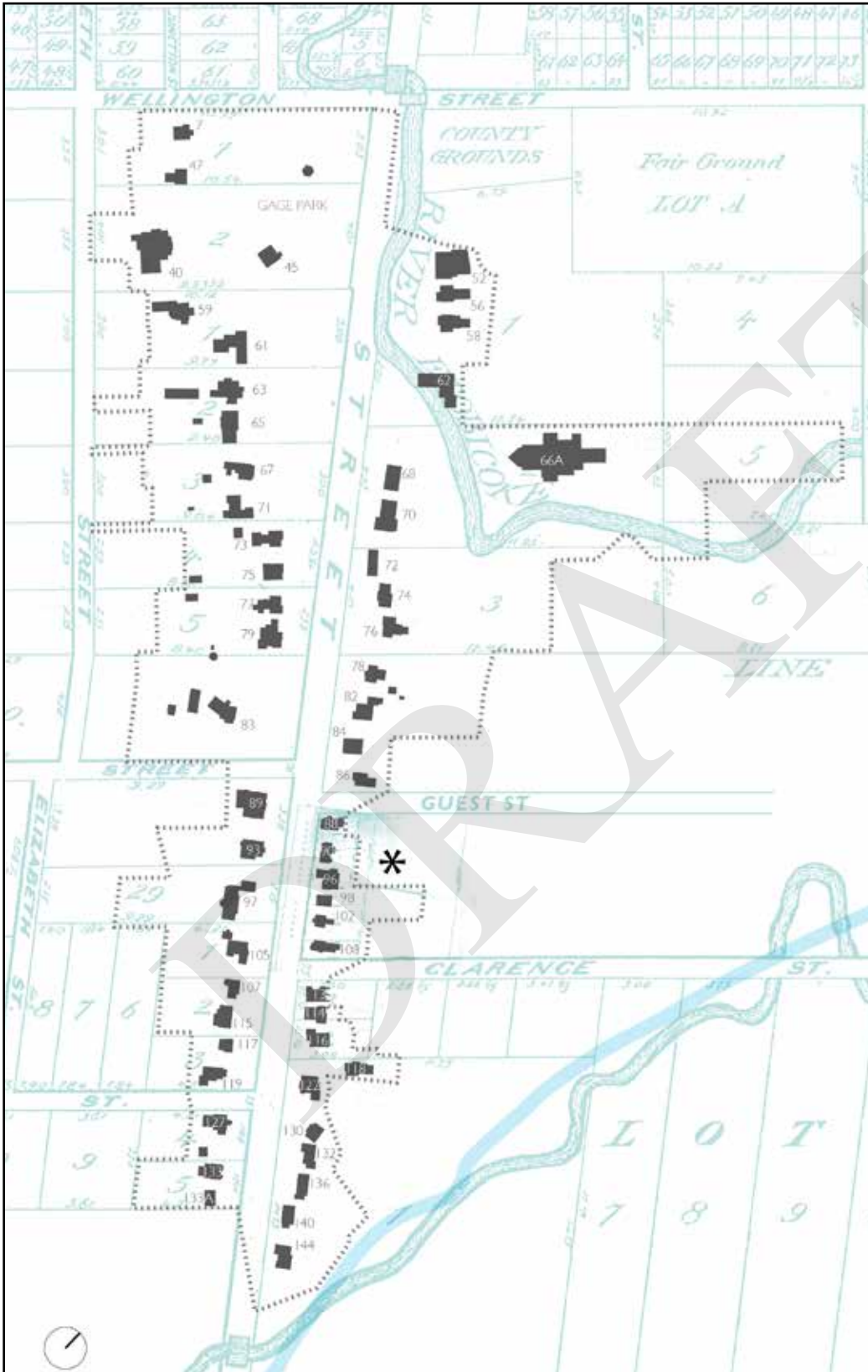


Figure 1: Layered map demonstrating the District's lot pattern evolution over time (Source: ERA)

This map illustrates the District's evolution of lot patterns and forms of urban development over time.

Three map layers are shown:

- The District at **present**, in dark grey. District buildings are infilled with grey, and their current addresses are shown. The District boundary is also shown in grey, and the current course of Etobicoke Creek shown in light blue (source: ERA).
- The **1877** map of Brampton, in teal, showing lot numbers and property lines, streets, the Etobicoke River/Creek, and notes like "County Grounds" and "Fair Grounds" (sourced from Walker and Miles's 1877 map of Brampton).
- Indicated with a star\* and shown in teal, the Main Street-fronting portion of the **1854** Guest Plan between Guest and Clarence Streets, which is not featured on the 1877 map, but was in effect by that time (sourced from Tremaine's 1859 map of Brampton).

## 1.5 DESCRIPTION OF HERITAGE ATTRIBUTES

The *Heritage Attributes* of the Main Street South neighbourhood include:

### LANDSCAPE HERITAGE ATTRIBUTES

- The neighbourhood's function as a green corridor or park-like gateway, culminating in Brampton's first public park (Gage Park) and historic downtown core.
- The mature vegetation that constitutes an important contribution to the city's overall urban tree canopy, and distinguishes the street from surrounding neighbourhoods;
- The historic course of the Etobicoke Creek and its ravine, seen through the landform and topography at the north end and south edge of the District, and through remnants of the creek's built infrastructure on certain properties;
- A wide diversity of lot forms and sizes, shaped by river-valley topography, urban town lot subdivision plans, and remnant estate properties.

### BUILT HERITAGE ATTRIBUTES

- Detached residential buildings that exhibit:
  - Heights of 1-3 storeys;
  - Predominantly brick, but also stucco, wood and stone cladding;
  - Pitched roofs of varying styles;
  - Good examples of architectural style from the 1850s through to the present, including Italianate; Gothic Revival & Ontario Farmhouse; Queen Anne; Shingle; vernacular Victorian; Arts & Crafts; Edwardian; Jacobethan, Tudor, Dutch & Colonial Revival; Wartime Housing; and Ranch.
- The former estates of some of Brampton's most prominent residents, including John Elliott, Kenneth Chisholm and William Perkins Bull.



The properties' setbacks, topographical features and mature landscaping all contribute to Main Street South's green corridor (Source: ERA)



Buildings in the District represent a rich diversity of architectural styles, including 133 Main Street South's Gothic Revival style (Source: ERA)



## 1.6 DISTRICT BOUNDARY

The District consists of properties with lot frontage onto Main Street South or facing Gage Park, between Wellington Street (west side) and Glen Eagle Crescent (east side) to the north, and the Etobicoke Creek to the south.

### DISTRICT BOUNDARY RATIONALE

The intent behind the District is to conserve the public experience of the residential character of Main Street South. Only properties with lot frontage onto Main Street South, or with frontages otherwise visible from the street, can contribute to that character.

The District boundary was determined through the inclusion of properties with lot frontage onto Main Street South or Gage Park. 6 Etobicoke Drive is also included, as a recognition of its relationship to 118 Main Street South (matching houses originally located on the same estate lot), and of its visibility from the street. A map of the District Boundary can be found on the following page.

### EVOLUTION OF THE DISTRICT BOUNDARY

The final District boundary presented on the following page has evolved from early District studies.

The City of Brampton's 2009 Heritage Conservation District Feasibility Study first recommended Main Street South as one of seven neighbourhoods to be considered for HCD status.

The 2014 Main Street South HCD Study refined the Feasibility Study's proposed boundary as the neighbourhood's character and individual properties were studied in further detail.

The final District boundary, in both the HCD Study and in this Plan, refines the 2009 Feasibility Study's boundary in two ways:

- **By including the non-residential St. Mary's Church property at 66A Main Street South;**

This property's lot frontage onto Main Street South allows it to contribute to the public experience of the street. The property currently contributes through Landscape *Heritage Attributes*, including softscaping, mature trees, sloped grading and the building's siting, which responds to remnant river-valley topography on the lot. The property could evolve to contribute further through the enhancement or addition of landscape attributes.

- **By excluding a number of properties fronting onto Wellington, Elizabeth and Frederick Streets;**

Properties that do not front onto Main Street South or Gage Park cannot contribute to the District's heritage character or shape the public experience of the street.

# MAP OF DISTRICT BOUNDARY

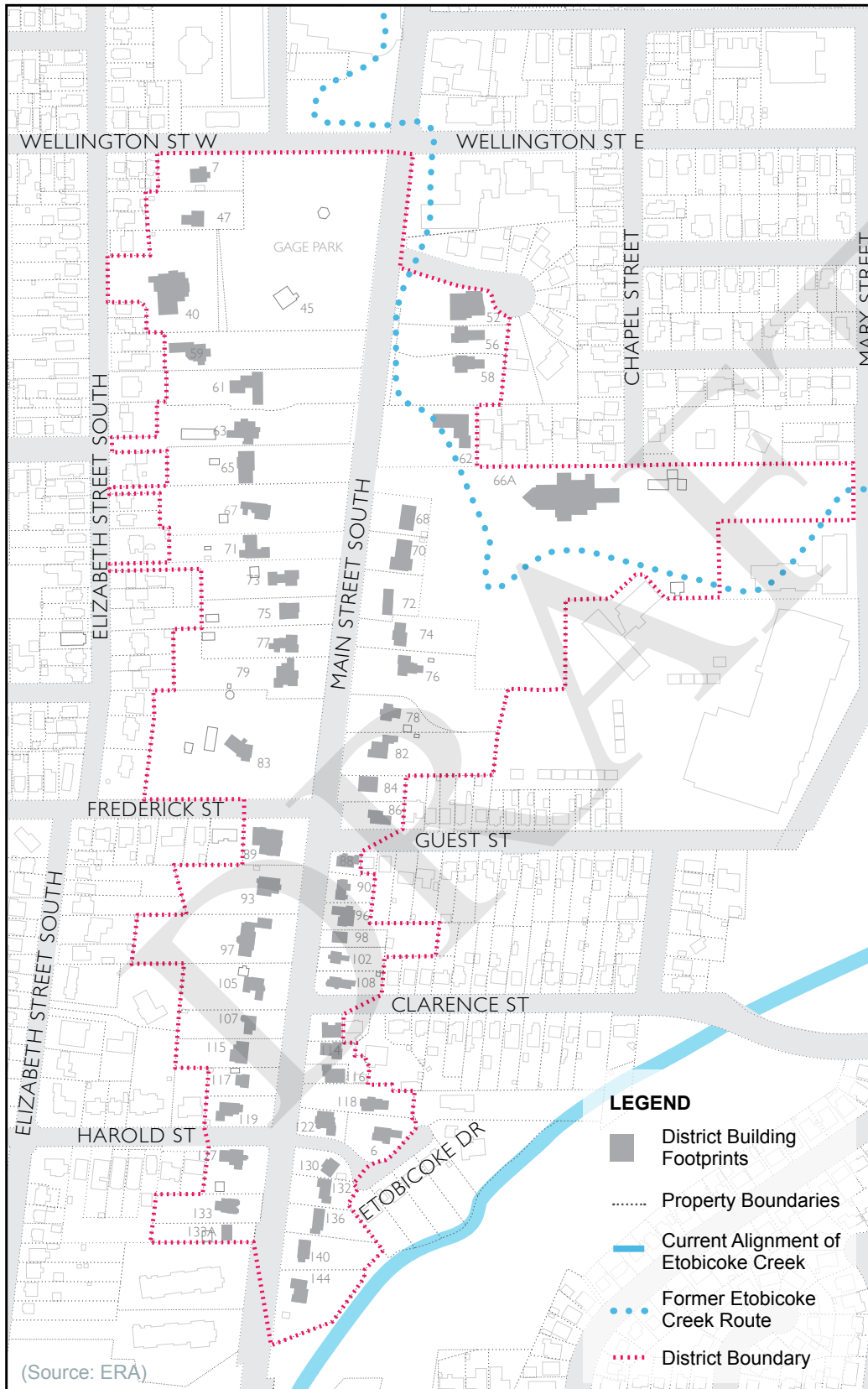


Figure 2: District boundary map (Source: ERA)

## 1.7 PUBLIC CONSULTATION ON THE DISTRICT PLAN

### PUBLIC CONSULTATION PROCESS

The process to develop the District began in 2009 with the approval of a Heritage Conservation District Study for Main Street South.

The Study was conducted over five years, during which two public open houses were held, in 2011 and 2014.

After the District Study was adopted by Brampton's City Council in 2014, the District Plan was developed over the course of three years. A public open house was held in January 2016, and was followed by a statutory public meeting on the District Plan in December 2016. In May 2017, residents and other stakeholders were invited to a public workshop on revisions to the District Plan.

### OUTCOMES OF PUBLIC CONSULTATION

Residents and other stakeholders shared their views on the District's architectural value and landscape value, and its associative importance in Brampton's urban development.

The community's perspective played an important part in determining the *cultural heritage value* of the District, the identification of Character-Defining Buildings within it, and the desired outcomes for future work in the District.



Public consultation on the District Plan. (Source: City of Brampton)

## 2.0 PROPERTY STATUS IN THE DISTRICT

### 2.1 DESIGNATION UNDER THE ONTARIO HERITAGE ACT

#### PART V DESIGNATION (DISTRICT)

All properties in the District are designated under Part V of the *Ontario Heritage Act*. This is a legal designation that is registered on title for all properties in the District.

#### PART IV DESIGNATION (INDIVIDUAL)

Properties in the District may be designated under Part IV of the *Ontario Heritage Act*, for individual *cultural heritage value*, as well as under Part V.

Properties currently subject to both Part IV and Part V designations include:

- 40 Elizabeth Street South
- 67 Main Street South
- 73 Main Street South
- 77 Main Street South
- 133 Main Street South

These properties are subject to both the Statement of Objectives, Policies, Guidelines and procedures in this District Plan **and** the conservation requirements outlined in their Part IV designation by-laws, as per Sections 33 and 34 of the *Ontario Heritage Act*.

### 2.2 STATUS UNDER THE DISTRICT PLAN

All properties in the District contribute to the District's value. **The District *Heritage Attributes* present on each property are detailed on each property's Statement of Contribution (Appendix A of this Plan).** These *Heritage Attributes* are expected to be *conserved*.

#### LANDSCAPE VALUE ON ALL PROPERTIES

Each property in the District exhibits one or more of the District's *Landscape Heritage Attributes*.

This means that all properties support the District's landscape value, through elements ranging from mature trees and greenery visible from Main Street South, to dramatic slopes that speak to the historic river-valley topography of Etobicoke Creek.

When undertaking future work, **all** property owners and the City are expected to conserve the *Landscape Heritage Attributes* that exist on their sites.

City of Brampton Heritage Staff will consult the District Policies in Section 4 during their reviews of proposed work to ensure that the District's *Landscape Heritage Attributes* will be *conserved*, and that the proposed work meets the Objectives in this Plan.

#### CHARACTER-DEFINING BUILDINGS

There are two classes of buildings in the District:

- Character-Defining Buildings
- Non-Character-Defining Buildings

Character-Defining Buildings exhibit the District's *Built Heritage Attributes*: they are

residential buildings clad in brick, wood, stucco or stone, with pitched roofs, that present good examples of architectural styles. Some are also the former homes of Brampton’s most prominent residents.

Good examples of architectural style are those that feature high-quality design and materials, and that present either typical examples or exceptional versions of the style, as discussed in publicly-available architectural style guides, including those in Section 8.0.

Non-Character-Defining Buildings may support the District’s built character through some elements of the District’s Built *Heritage Attributes*, but they do not comprehensively exhibit them.

Character-Defining Buildings are subject to greater conservation requirements than Non-Character-Defining Buildings. Character-Defining Buildings are not permitted to be demolished, and there are additional expectations for the design of alterations, additions and new construction on their sites. Conservation requirements for both these properties and those with Non-Character-Defining Buildings are explained further throughout the District Policies and Guidelines in this Plan.

When undertaking future work, owners of properties with Character-Defining Buildings are expected to conserve the Built *Heritage Attributes* that exist on site.

City of Brampton Heritage Staff will consult the District Policies in Section 4.0 during their review of proposed work on properties with Character-Defining Buildings to ensure that the District’s Built *Heritage Attributes* will be *conserved*, and that the proposed work meets the Plan’s Objectives.

Properties with Character-Defining Buildings (boxes filled in)			
Property	Character-Defining Building?	Property	Character-Defining Building?
Gage Park		86 Main St. S.	
13 Clarence St.		88 Main St. S.	
40 Elizabeth St.		89 Main St. S.	
6 Etobicoke Dr.		90 Main St. S.	
47 Main St. S.		93 Main St. S.	
52 Main St. S.		96 Main St. S.	
56 Main St. S.		97 Main St. S.	
58 Main St. S.		98 Main St. S.	
59 Main St. S.		102 Main St. S.	
61 Main St. S.		105 Main St. S.	
62 Main St. S.		107 Main St. S.	
63 Main St. S.		108 Main St. S.	
65 Main St. S.		114 Main St. S.	
66A Main St. S.		115 Main St. S.	
67 Main St. S.		116 Main St. S.	
68 Main St. S.		117 Main St. S.	
70 Main St. S.		118 Main St. S.	
71 Main St. S.		119 Main St. S.	
72 Main St. S.		122 Main St. S.	
73 Main St. S.		127 Main St. S.	
74 Main St. S.		130 Main St. S.	
75 Main St. S.		132 Main St. S.	
76 Main St. S.		133 Main St. S.	
77 Main St. S.		133A Main St. S.	
78 Main St. S.		136 Main St. S.	
79 Main St. S.		140 Main St. S.	
82 Main St. S.		144 Main St. S.	
83 Main St. S.		7 Wellington St. W.	
84 Main St. S.			

Figure 3: Chart identifying Character-Defining and Non-Character-Defining Buildings in the District. Character-Defining Buildings were determined through detailed study of architectural styles in the District and beyond, and through local stakeholder consultation and feedback. (Source: ERA)

# MAP OF CHARACTER-DEFINING BUILDINGS IN THE DISTRICT

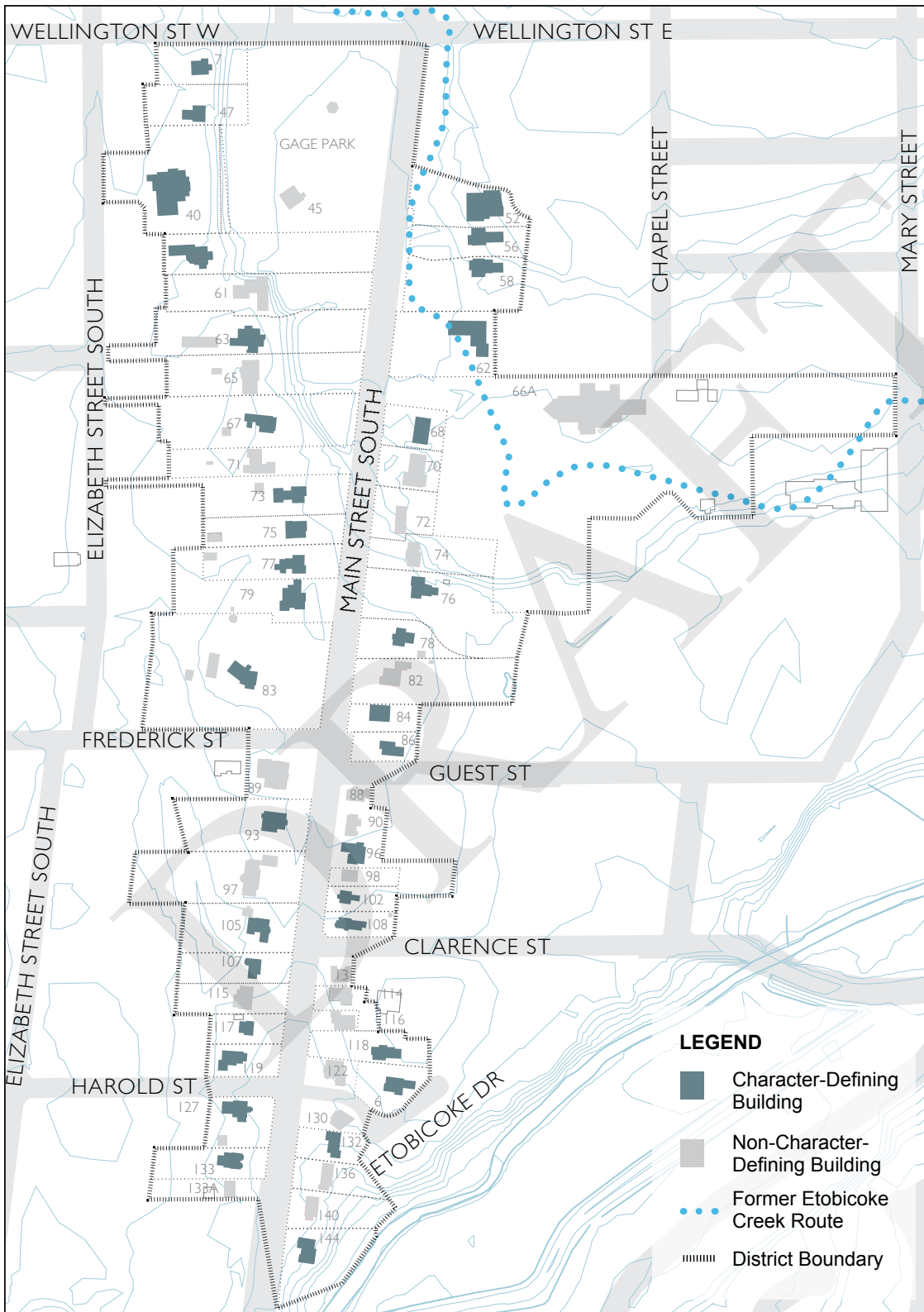


Figure 4: Map identifying Character-Defining and Non-Character-Defining Buildings in the District (Source: ERA)

## 3.0 MUNICIPAL POLICY FRAMEWORK

### 3.1 OVERVIEW

The following municipal documents include provisions that control the use of land and development within the District:

#### 1) City of Brampton Official Plan, 2015

The Official Plan provides direction on development and land use decisions in Brampton, in order to meet the City's current and future needs. Specifically, the Official Plan guides the growth and maintenance of the City's land use, built form and transportation networks, as well as stewards environmental protection.

The Official Plan identifies objectives and policies for the city-wide identification and conservation of cultural heritage resources. The Official Plan provides guidance on the establishment and the structure of HCDs and their accompanying plans. This includes general direction for the retention, relocation, alteration and maintenance of heritage buildings, as well as new construction within HCDs.

#### 2) Downtown Brampton Secondary Plan (Secondary Plan Area 7), 2017

The Downtown Brampton Secondary Plan provides detailed direction for the Downtown area that goes beyond the general framework provided by the Official Plan. The Secondary Plan identifies more specific land use designations in the Downtown area, and provides specific objectives and policies that guide the development and growth within each designation.

The Secondary Plan's heritage policies encourage the conservation and retention of cultural heritage resources. Further, the majority of the District is identified as Special

Policy Area Number 1, and Section 5.6.1 contains planning policies which govern development within this Area.

#### 3) City of Brampton Comprehensive Zoning By-Law 270-2004

The Zoning By-Law specifies and regulates the permitted uses and building standards in each of Brampton's zone categories. The regulations for building standards include, but are not limited to: height, lot coverage, location of structures and minimum front, side and rear yard setbacks. All proposed work in the District is required to comply with the Zoning By-Law.

#### 4) City of Brampton Site Plan Control By-Law 96-1986

The City of Brampton Site Plan Control By-Law requires Site Plan Review and Approval for development proposals in Brampton's Mature Neighbourhood Areas. Site Plan Review and Approval is required for proposals involving additions of new or replacement single-detached dwellings, of 50 square metres or greater, or involving a detached garage of any size. The District is located within a Mature Neighbourhood Area and is subject to Site Plan Review and Approval.

The Site Plan Review process examines design and technical aspects of a proposed development to ensure compliance with all municipal objectives. Site Plan reviews address issues including, but not limited to: zoning by-law requirements, urban design objectives, landscaping standards and accessibility standards.

Site Plan Control Applications in the District will be reviewed in conjunction with Heritage Permit Applications. Where the application requirements overlap, only one joint application form will be required.

### **5) Tree Preservation By-Law 317-2012**

In recognition of the environmental and aesthetic value of trees, the City of Brampton adopted the Tree Preservation By-Law. The By-Law regulates and prohibits the destruction and injury of trees on private property.

All proposed work in Brampton is required to comply with the Tree Preservation By-Law, including work within the District. Beyond the Tree Preservation By-Law, trees in the District should be conserved as set out in this Plan's Policies and Guidelines.

## **3.2 MUNICIPAL POLICY CONFLICT WITH THE HCD PLAN**

The City of Brampton's policy documents are intended to be used in tandem with the District Plan. Any future changes to the Official Plan, Downtown Brampton Secondary Plan, Zoning By-Law and Tree Preservation By-Law should be aligned with the District Plan, reflecting its Statement of Objectives and its Policies.

Section 41.2 of the *Ontario Heritage Act* provides that in the event of a conflict between a Heritage Conservation District Plan and a municipal by-law, the District Plan prevails.

In addition, the *Ontario Heritage Act* provides that no public work in a Heritage Conservation District can be carried out if it is contrary to the objectives of the District Plan. As such, the City is held to the Statement of Objectives in the District Plan to the same degree as individual property owners.



## 4.0 POLICIES

The District Policies are designed to operationalize the Objectives of the Plan. The following policies lay out the actions that should be taken to *conserve the cultural heritage value* of the District.

The Policies are organized to correspond with the themes found in the Plan's Statement of Objectives (Section 1.3), and are intended to direct the City in the evaluation of any proposed work in the District.

Where a proposal is not strictly consistent with the requirements in the District Plan, applicants shall rationalize the need for an exception, and demonstrate how their design solution still meets the intent of the Plan's Objectives. Heritage Staff may then evaluate the application on its merits.

This flexibility aims to allow for creativity and innovation where appropriate, and will ensure that work within the District remains current with best practices in heritage *conservation*.

## 4.1 PROTECT

- 4.1.1 All properties in the District shall be *conserved* according to the requirements in Brampton's Minimum Maintenance Bylaw 104-1996 (Property Standards), as amended.
- 4.1.2 The Built *Heritage Attributes* of the District shall be *conserved* on all Character-Defining Buildings, including heights of 1-3 storeys; brick, wood, stucco and stone; pitched roofs; and stylistic architectural elements of various eras, as well as any residences of historically prominent Brampton residents.
- 4.1.3 The District's green corridor into downtown Brampton shall be *conserved*.
- 4.1.4 Mature trees shall be *maintained*. Where the tree removal criteria in Policy 4.2.4.5 are met, trees shall be replaced in accordance with Brampton's Tree Preservation By-Law 317-2012, as amended.
- 4.1.5 Landscape work shall consider the *conservation* of the District's native plantings and original landscaping materials, where they exist.
- 4.1.6 Topographical and infrastructural evidence of the original Etobicoke Creek route shall be *conserved*.
- 4.1.7 The siting (location) of the primary building on the lot shall be *conserved* if the building's siting is listed in the property's Statement of Contribution.

## 4.2 MANAGE CHANGE

### 4.2.1 ALTERATIONS

- 4.2.1.1 Alterations to Character-Defining and Non-Character-Defining Buildings shall *conserve* all Built and Landscape *Heritage Attributes* listed in their properties' Statements of Contribution.
- 4.2.1.2 Alterations to Character-Defining Buildings shall *conserve* original architectural features if they are listed in the property's Statement of Contribution.
- 4.2.1.3 Alterations to Character-Defining Buildings shall consider the reversal of unsympathetic work and the reinstatement of lost or hidden original features.
- 4.2.1.4 Alterations to any properties designated under Part IV of the *Ontario Heritage Act* shall be subject to Section 33 of the *Ontario Heritage Act*, as well as to the Objectives, Policies, Guidelines and procedures in this Plan.

### 4.2.2 ADDITIONS AND NEW CONSTRUCTION

- 4.2.2.1 Additions to all buildings and construction of new secondary structures shall be designed to:
  - (a) be subordinate to and compatible with on-site and neighbouring Character-Defining Buildings through aspects including, but not limited to, scale, roof pitch and materiality;
  - (b) employ high-quality architecture and building materials;
  - (c) appear to be of their time, while consistent with the Built Heritage Attributes of the District; and
  - (d) respond to the property's existing topography.

4.2.2.2 New construction that replaces any primary residence shall be designed to:

- (a) be subordinate to and compatible with neighbouring Character-Defining Buildings through aspects including, but not limited to, scale, roof pitch and materiality;
- (b) employ high-quality architecture and building materials;
- (c) appear to be of their time, while consistent with the Built Heritage Attributes of the District;
- (d) respond to the property's existing topography; and
- (e) be sited (located) in a way that reflects the property's historical building siting if it is listed in the property's Statement of Contribution.

4.2.2.3 Any work requiring a major heritage permit, excluding the development of secondary structures, shall be supervised by a qualified member of the Canadian Association of Heritage Professionals.

#### 4.2.3 DEMOLITION AND RELOCATION

4.2.3.1 Demolition of Non-Character-Defining Buildings will generally be permitted, subject to Policy 4.2.3.3.

4.2.3.2 Demolition of Character-Defining Buildings shall not be permitted unless the building is deemed structurally unstable or beyond reasonable *conservation* treatment, as determined through a *Heritage Impact Assessment* and any additional consultant studies requested by the City.

- 4.2.3.3 Demolition of a Non-Character-Defining Building on any property designated under Part IV of the *Ontario Heritage Act* shall not be permitted, unless the building is deemed structurally unstable or beyond reasonable *conservation* treatment, as determined through a *Heritage Impact Assessment* and any additional consultant studies requested by the City.
- 4.2.3.4 Relocation of Character-Defining Buildings shall not be considered unless all on-site retention options have been exhausted and a relocation strategy has been detailed in a *Heritage Impact Assessment*, ensuring there will be no negative impact on the property's Landscape *Heritage Attributes*.
- 4.2.3.5 A demolition permit for any building in the District shall not be issued until a *Heritage Impact Assessment* has been submitted and the proposed replacement building approved by Brampton's City Council.

#### 4.2.4 LANDSCAPES AND STREETSCAPES

- 4.2.4.1 All public work improvements shall be designed, sited and implemented with consideration for the neighbourhood's character as defined in the District's Statement of Cultural Heritage Value.
- 4.2.4.2 Any installation of new fencing, non-organic landscape features and *public works* shall ensure that Built and Landscape Heritage Attributes remain visible from Main Street South.
- 4.2.4.3 New construction, alterations and *public works* improvements shall *conserve* the existing health and future growth potential of trees within the District.
- 4.2.4.4 Alterations to landscapes in the District shall *maintain* or enhance the green corridor into downtown Brampton.

- 4.2.4.5 Trees in the District that are injured or deemed unsafe by a certified arborist shall be replaced in accordance with the City of Brampton's Tree Preservation By-law 317-2012, as amended.
- 4.2.4.6 Alterations to existing landscaping shall employ natural, porous and permeable materials rather than impermeable hardscaping. Existing impermeable hardscaping is permitted to be replaced *in kind*, within the same area.
- 4.2.4.7 New construction, alterations and *public works* improvements shall *conserve* the existing river-valley topography visible from Main Street South. Works may require a *Heritage Impact Assessment* to demonstrate that there will be no negative impact on the District's *Heritage Attributes*.
- 4.2.4.8 Lot severance and subdivision will be considered in accordance with all standard requirements of policy and legislation. Additionally, such lot severances and subdivisions must conserve the District's *Heritage Attributes*, and conform with Downtown Brampton Secondary Plan policies, which state that newly-created lots must be accessible from a public right-of-way other than Main Street South. Applications will be evaluated on a case-by-case basis.
- 4.2.4.9 Gage Park shall be *maintained* and enhanced as a high-quality public open space.

### 4.3 INVOLVE THE COMMUNITY

- 4.3.1 The City shall provide the public with information and assistance on the District to foster civic pride and encourage ongoing conservation efforts.
- 4.3.2 The City shall ensure that the District Plan's Resources (listed in Section 8.0) are up to date and readily available to the public.
- 4.3.3 The City shall ensure that its grants program and any technical resources are easily navigated by the public.
- 4.3.4 The City shall encourage representation from the Main Street South HCD on the Brampton Heritage Board.
- 4.3.5 The City shall provide information and assistance to any District resident interested in joining the Brampton Heritage Board.
- 4.3.6 The City shall review the District Plan periodically with engagement and input from the community, and amend the District Plan as needed as the District continues to evolve.

## 5.0 DISTRICT GUIDELINES

The District Guidelines are intended to provide stakeholders with assistance in understanding how to meet the District Objectives and Policies.

The District Guidelines address only the areas of properties visible from Main Street South.

Stakeholders, and in particular property owners, are required to meet the Objectives and Policies in this Plan. They are expected to consult the Guidelines, as they are helpful in achieving the Plan's Objectives. The Guidelines elaborate on the Objectives and Policies, offering further context, information, examples and conservation advice that may help stakeholders to better understand the District Plan.

While the Guidelines may emphasize particular conservation methods over others, it is understood that there are multiple design solutions that would allow a given project to achieve the District Objectives. Stakeholders are encouraged to use the Guidelines as a point of information and inspiration for work that occurs in the District.

City of Brampton Heritage Staff are available to any stakeholder who requires further assistance in interpreting the Objectives, Policies and Guidelines that apply within the District.



## 5.1 ALTERATIONS TO CHARACTER-DEFINING BUILDINGS

### 5.1.1 DECORATIVE ARCHITECTURAL ELEMENTS

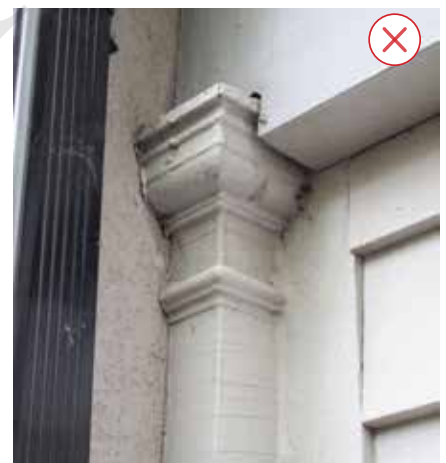
- (a) Original decorative elements should be *maintained* where they exist.
- (b) Document decorative elements prior to repair or *restoration* to ensure their retention.
- (c) When undertaking alterations and additions, avoid removing, damaging, or obscuring architectural details.
- (d) Where archival evidence exists, the reinstatement of decorative elements or missing features is encouraged. Forms, materials and detailing should be based on sufficient physical or documentary evidence.

#### BEST PRACTICE: DOCUMENTING DECORATIVE ELEMENTS



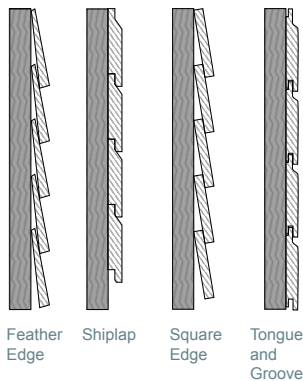
Completing detailed measurements of this column base was the first step in *conserving* this column. (Source: ERA)

#### AVOID: OBSCURING ARCHITECTURAL DETAIL



In this case, the decorative element was not well considered when making changes to the building. As a result, it was partly obscured. This should be avoided. (Source: ERA)

### EXAMPLE: WOOD CLADDING



Exterior wood cladding variations.  
(Source: ERA)

### BEST PRACTICE: INVESTIGATING CLADDING SYSTEMS



This project involved carefully removing part of the exterior wall in order to expose the interior structure and understand how to properly reinstate the exterior siding. (Source: ERA)

### AVOID: INAPPROPRIATE CLADDING



This house illustrates the application of new cladding material over historic brick, which detracts from the character of the building and conceals architectural details. (Source: ERA)

## 5.1.2 EXTERIOR WALLS AND CLADDING

- (a) Removing newer materials that have been applied over original cladding is encouraged, as it can reinstate original features and contribute to the District's character.
- (b) When replacing original brick, use matching salvaged brick to ensure consistency and aesthetical appeal.
- (c) Use mortars that are softer than the surrounding masonry (e.g. lime-based mortar) to lessen the likelihood of deterioration and extend the life of the masonry.
- (d) When completing repairs or replacements, understand and document the existing cladding material and system, including both the surface and the backing material(s). This can assist in ensuring replacement materials are *in kind* with original cladding, including composition, dimensions, profile, texture, and finish.
- (e) When covering, repairing or replacing cladding, avoid modern, unsympathetic, low-quality materials or cladding systems such as aluminium, vinyl, concrete or Exterior Insulation and Finish System (EIFS), otherwise known as synthetic stucco.
- (f) When completing repairs or replacements, avoid covering or obscuring stylistic architectural elements.
- (g) When cleaning cladding, use the gentlest means possible, as abrasive cleaning methods such as sand-blasting masonry can be both aesthetically and physically destructive to historic building materials.
- (h) Undertake regular painting and/or sealing of wood and stucco cladding to extend the life of original building fabric.

### 5.1.3 FOUNDATIONS

- (a) Original above-grade foundations, including textures and finishes, should be *maintained* where they exist.
- (b) When completing repairs or replacement, match original foundation textures and finishes, and avoid parging over the original above-grade foundations.
- (c) Direct downspouts and grading slopes away from foundations to help direct water away from foundation walls, minimizing the risk of water damage.

#### BEST PRACTICE: AN EXPOSED FOUNDATION



This photograph shows exposed foundation above grade being *maintained* as part of the building elevation. (Source: ERA)

### 5.1.4 ROOFS

- (a) Original roof details such as cornices, soffits, fascia, eaves, gable ends and other ridge elements should be *maintained* where they exist.
- (b) Removing elements that conceal original architectural detail (e.g. newer metal soffits and fascias) can help reinstate the building's original character.
- (c) Where archival evidence exists, the reinstatement of original materials, such as slate or wood shingles, can further contribute to a building's character.
- (d) When altering or replacing a roof, examine the existing style, form, pitch and details to ensure the design of new work retains these attributes. For example the design for alterations to a hipped roof should generally *maintain* the low sloping profile of this roof type.
- (e) When selecting roofing materials, avoid plastic, ceramic, clay or other materials and profiles that do not traditionally appear in the District. Asphalt shingles are an acceptable roofing material, and metal may be used to replicate material traditional to the District
- (f) Use traditional or matching materials and finishes for flashing, rain gear and downspouts to ensure consistency with the building's character. Pre-painted aluminium may be acceptable.

#### BEST PRACTICE: CONSERVATION OF ORIGINAL ROOF ELEMENTS



Original roof features shown here, like the cornice, brackets and fascia along the roof's edge, and the spindlework within the small gables, are integral in conveying this house's architectural character. (Source: ERA)

- (g) Place solar collectors flush and on the non-street-facing side of the roof, or on the ground in an inconspicuous location, to ensure any visual impact is minimized from Main Street South.
- (h) Locate roof-mounted units such as satellite dishes and antennas in a manner that ensures no damage or visual impact on the property's Built *Heritage Attributes*.
- (i) Install skylights in an unobtrusive location. Use flat skylights that blend in with the roof, and avoid sculptural or bubble-style skylights.

**BEST PRACTICE: MAINTAIN ORIGINAL DORMERS WHERE THEY EXIST**



The symmetrical balance of small, hipped dormers in the centre of each visible side of the roof helps to convey the Edwardian Foursquare architectural style at 127 Main Street South (Source: ERA).

### 5.1.5 DORMERS

- (a) Original dormer locations, shapes and sizes should be *maintained* where they exist.
- (b) Avoid adding dormers on principal facades where they did not originally exist.
- (c) Design the placement, size, scale, style and materials of new dormers to be compatible with original dormers, where they exist.
- (d) Design new dormers to be compatible with but distinguishable from the original roof shape, pitch and style, particularly where original dormers do not exist.

## 5.1.6 WINDOWS

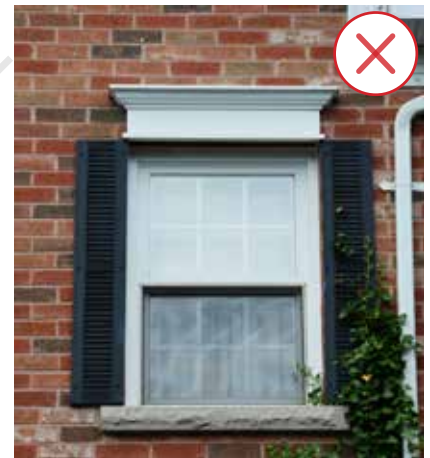
- (a) Original window openings, design details and functional and decorative elements, such as muntins, lintels, sills, shutters and hoods, should be *maintained* where they exist.
- (b) *Maintain* and repair original shutters, and where possible, replace those that have been removed. While shutters do not have to be operable, they should be shaped, sized, and fastened to the window appropriately in order to convey the appearance of operability.
- (c) Reinstate infilled window openings where appropriate, and avoid introducing new window openings.
- (d) Infilling original window openings should be avoided.
- (e) If new window openings are necessary, continue the patterns, rhythm and proportions of the original openings and of the building's architectural style. For example, some architectural styles, such as Colonial Revival, require windows to be symmetrical across the front façade.
- (f) Replacement windows should *maintain* the size, proportions, materials, and dimensions of the entire window, including the frame and the lights (i.e. window panes).
- (g) If replacement is necessary for an element on an original wood window, replace only the deteriorated element *in kind* rather than the entire unit, matching the materials, design and dimensions of the original.
- (h) When replacing wood windows, avoid aluminium, coated metal, or vinyl units, and avoid the use of inauthentic architectural details (e.g. snap-in muntins). Synthetic materials rarely duplicate the texture and detail qualities of original materials.

### BEST PRACTICE: SHUTTERS



This photo shows operable storm shutters that are appropriately sized. (Source: City of Brampton)

### AVOID: INACCURATE SHUTTERS



This photo shows storm shutters that are not appropriately sized for the window (Source: City of Brampton)

#### BEST PRACTICE: WINDOWS



This new window has been replaced within the original opening, and maintains the original size, proportions, materials and dimensions. (Source: ERA)

#### AVOID: CHANGING OPENINGS AND PROPORTIONS



This new window is not consistent with the original opening or style of windows of this older building (Source: ERA)

- (i) The use of aluminium or vinyl storm windows should be avoided.
- (j) Energy conservation work is possible without the removal, damage or concealment of original windows. There are various resources available on the topic of energy conservation while *maintaining* historic windows. A City of Brampton Heritage Planner can also offer helpful strategies.
- (k) Appropriate solutions for improving energy efficiency include wood storm windows and proper weather-stripping, as well as interior storm windows for thermal efficiency.
- (l) New storm windows should be designed to complement original window features such as the window muntins and light pattern.

### 5.1.7 DOORS AND ENTRANCES

- (a) Traditional wooden doors and their functional, proportional and decorative elements should be *maintained* where they exist. These elements include the door and its frame, sill, head, jamb, moldings, and any flanking windows (e.g. transom and sidelights).
- (b) Enclosing door openings, converting door openings to windows and adding new door openings should be avoided.
- (c) Installing metal screen doors that obscure details of traditional wooden doors should be avoided.
- (d) When replacing a door, study the building's architectural style to select an appropriate door to match the building's design. Door features may differ in size, proportion, materials, and dimension depending on the architectural style.
- (e) When replacing traditional wooden doors, avoid aluminium, coated metal or vinyl units, as these materials rarely duplicate the texture and detailed qualities of original materials.
- (f) Energy conservation work should avoid measures that are incompatible with the traditional wooden door features. Some appropriate energy conservation approaches include installing weather-stripping, adding appropriately designed and removable screen doors, storm doors, or adding interior shades.

EXAMPLE: A TRADITIONAL DOOR



The door, surround, and transom and sidelights on the entrance at 108 Main Street South all help to convey the residence's Italianate architectural style (Source: ERA)

## BEST PRACTICE: PORCH CONSERVATION



Porch *conservation* using an archival photograph to understand the original condition. Images show the historic condition (top), the recent deteriorated condition (middle), and the reinstated porch (bottom). (Source: ERA)

### 5.1.8 PORCHES, VERANDAS AND PORTICOS

- (a) Original porches and their defining features such as columns, entablature, steps, posts, balustrades, decorative trim, and ceilings, should be *maintained*.
- (b) Enclosing porches should be avoided, as it may negatively impact the visual character of both the building and the streetscape.
- (c) If enclosing a porch, design the enclosure to be reversible so that the integrity of the original building is not compromised if the enclosure is removed in the future.
- (d) The repair of deteriorated porches and porch elements (e.g. balusters, railings, columns) through recognized conservation methods is encouraged.
- (e) If a new railing is added to a façade where it did not originally exist, use a design and materials that are compatible with the architecture of the building.
- (f) Where incompatible alterations exist, such as the enclosure of open porches, or use of incompatible materials, the reconstruction to its original state is encouraged if adequate physical or documentary evidence exists.

### 5.1.9 CHIMNEYS

- (a) The exterior form, location, style, and materials of original chimneys should be *maintained*.
- (b) When repairing original chimneys, replace traditional materials *in kind*.
- (c) When constructing new chimneys, ensure their design respects the building's architectural style.



## 5.2 ADDITIONS TO ALL BUILDINGS

- (a) The maintenance of existing additions that contribute to the architectural style of the building is encouraged.
- (b) New additions should be located at the rear of the building, or on a side elevation set back from the main elevation to minimize the visual impact on the original building and the streetscape.
- (c) New additions should be designed to be reversible to ensure the form and integrity of the original building is not compromised if the addition is later removed.
- (d) New additions should be subordinate to the original building in size, stature and detailing, particularly on Character-Defining Buildings, so as not to diminish or detract from the original building's character.
- (e) New additions should avoid damage to *Heritage Attributes* on Character-Defining Buildings.
- (f) Employ creative strategies and current design styles to ensure new additions are of their time and are compatible with, yet distinguishable from, the original building. Strategies may include the use of a different but complementary cladding material, or the use of the same material with a different pattern.
- (g) The application of new lower-quality cladding or surface coatings (e.g. synthetic stucco, vinyl, plastic, sheet metal) should be avoided. High-quality cladding materials such as brick, wood, traditional stucco or fibre cement board should be used.
- (h) The application of roofing materials such as plastic, ceramic, clay, or other materials and profiles not traditionally found in the District, should be avoided. Asphalt shingles are an acceptable roofing material, and metal may be used to replicate materials traditional to the District.
- (i) A new addition's roof shape, slope, material and style should be compatible with the roof and style of the original building.
- (j) Windows and doors on additions should respond to the style, proportion, orientation and patterns of those on the original building.

### AVOID: INCOMPATIBLE ADDITIONS



This rooftop addition is not in keeping with the character of the house. It changes the basic shape of the building and uses a material palette that is not complementary to the rest of the building. The window in the addition does not fit with the size and location of other windows. (Source: ERA)

## BEST PRACTICES: SECONDARY STRUCTURES



This detached garage addition is set back and also complements the design of the historic dwelling on the property (Source: City of Brampton)



This attached garage is set back from the front façade and uses corresponding materials and roofline which *maintain* the character and prominence of the dwelling (Source: City of Brampton)

## 5.3 SECONDARY STRUCTURES ON ALL PROPERTIES

- (a) Secondary structures that contribute to the historic character of the individual building, site or District should be *maintained*.
- (b) New secondary structures should be located at the rear of the property or set back from the principal façade. This will ensure that a traditional relationship to the primary residence and the site is respected.
- (c) New secondary structures should be set back to appear subordinate to any Character-Defining Buildings on adjacent properties.
- (d) Garages should be designed to be secondary or subordinate structures rather than components of the main building's principal elevation.
- (e) Screening such as vegetation can be used to limit potential visual impact of secondary structures.
- (f) Incorporate design cues from the primary building on the site, and from any adjacent Character-Defining Buildings, into the design of new accessory structures. This will assist in ensuring the new accessory structure is subordinate and complementary to the primary building.
- (g) Understand the existing site conditions when integrating new secondary structures to ensure they do not negatively impact mature trees or other landscape elements that contribute to the *cultural heritage value* of the District.

## 5.4 NEW CONSTRUCTION

- (a) The design of new buildings should *conserve* important features of the property such as site topography and mature trees. Use creative design strategies to integrate new buildings into any existing topography on site.
- (b) New construction should be of its time. New buildings should reflect current design approaches, while maintaining consistency with the District's Built *Heritage Attributes*.
- (c) New buildings should be designed to be compatible with adjacent Character-Defining Buildings, in terms of scale, height, massing, proportion, setback, and entry level.
- (d) The application of new lower-quality cladding or surface coatings (e.g. synthetic stucco, vinyl, plastic, sheet metal) should be avoided. The use of traditional high-quality cladding materials such as brick, wood, traditional stucco, metal and fibre cement board will help ensure new construction is durable and in keeping with the character of the District.

### EXAMPLES: CONTEMPORARY ARCHITECTURE IN HISTORIC PLACES



This modern farmhouse in the outskirts of Collingwood is a contemporary design, but blends with the area's rural character and employs traditional farmhouse design methods in responding to the region's rugged landscape. (Source: ERA Architects, Vik Pahwa)



This new house in an Oakville HCD is a contemporary design, yet is sensitive to the heritage character of the area through the use of complementary materials and proportions. (Source: City of Brampton)

(e) One of the two following building orientations found within the District should be *maintained*:

1. Parallel Orientation: The majority of buildings within the District are oriented towards and address Main Street South.
2. Angular Orientation: Some houses are sited at an angle to Main Street South, creating a buffer from the street and a picturesque setting.

EXAMPLE: PARALLEL ORIENTATION



78 Main Street South's front facade is sited parallel to Main Street South (Source: ERA)

EXAMPLE: ANGULAR ORIENTATION



The angular orientation of 83 Main Street South creates a picturesque setting. (Source: ERA)

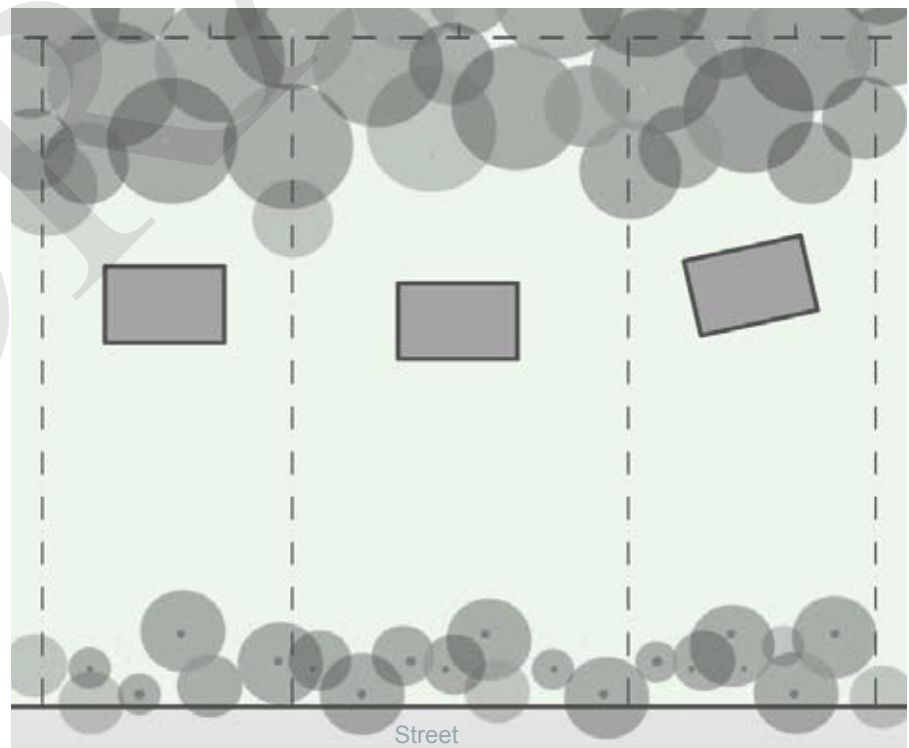
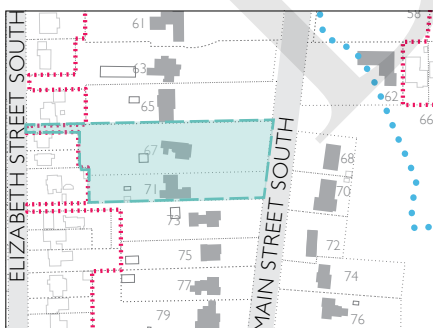


Diagram showing the two building orientations found in the District: parallel orientation on the left two lots, and angular orientation on the lot to the right. (Source: ERA)

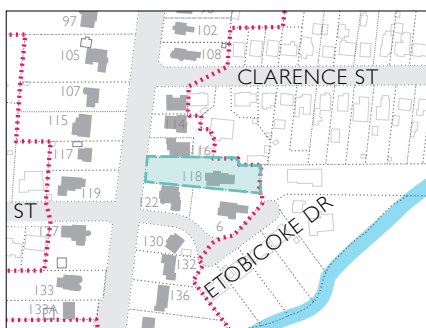
- (f) New buildings should be sited (located) in response to the lot condition referenced in their property’s Statement of Contribution, if any.
- If the property’s building siting responds to remnant river valley topography on the lot, new construction should be sited to do the same.
  - If the siting represents a remnant estate lot among later urban town lots, new construction should be sited with a greater setback than the surrounding properties.
  - If the siting responds to an urban town lot subdivision plan, new construction should generally be sited to be consistent with neighbouring properties.
- (g) The siting of new buildings should be compatible with surrounding buildings in terms of spacing and distance from adjacent buildings.

**EXAMPLE: SITING AS A RESPONSE TO RIVER-VALLEY TOPOGRAPHY**



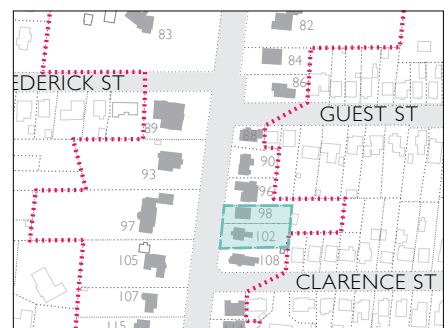
67 and 71 Main Street South are sited on the high ridge at the top of the Etobicoke Creek’s former river valley (Source: ERA)

**EXAMPLE: SITING REFLECTING A REMNANT ESTATE LOT**



118 Main Street South, on the historic Harper Bull estate, features a much greater setback than its adjacent properties (Source: ERA)

**EXAMPLE: SITING AS A RESPONSE TO AN URBAN TOWN LOT**



98 and 102 Main Street South are sited close together and with minimal setback from the street due to their urban town lot condition (Source: ERA)

## 5.5 DEMOLITION

- (a) Non-Character-Defining Buildings may be demolished, but only if replaced with buildings that are consistent with the District's Built *Heritage Attributes* and support the District's character, as determined through a *Heritage Impact Assessment* prepared by a member of the Canadian Association of Heritage Professionals.
- (b) Character-Defining Buildings may not be demolished unless they are deemed structurally unstable or beyond reasonable *conservation* treatment, as determined through a *Heritage Impact Assessment* prepared by a member of the Canadian Association of Heritage Professionals. The City may require additional documentation, which could include a structural integrity report prepared by a qualified structural engineer, a detailed condition assessment, or a peer review study.
- (c) Section 5.5 of this Plan does not apply to buildings on properties designated under Part IV of the *Ontario Heritage Act*.

## 5.6 ACCESSIBILITY CONSIDERATIONS

- (a) Locate and design barrier-free additions and alterations in a manner that complements and does not detract from any Character-Defining Building or Landscape *Heritage Attribute*.
- (b) Solutions that balance accessibility needs and heritage *conservation* are encouraged. Barrier-free additions or alterations on Character-Defining Buildings should be designed to be reversible so that the integrity of the original building is not compromised if removed in the future.

## 5.7 MECHANICAL / UTILITIES

- (a) Locate utilities (i.e. HVAC and/or communications systems) away from the principal façades of all buildings to minimize potential visual impact.
- (b) Provide screening for mechanical units such as fencing or vegetation to minimize potential visual impact on the District's character.

## 5.8 LANDSCAPING

### 5.8.1 GENERAL

- (a) Existing landscape terracing should be *maintained*.
- (b) Mature trees and other greenery should be *maintained*, as they contribute to the street tree canopy and the character of the District.
- (c) The planting of large canopy trees, and any increase in greenery and ornamental landscaping, is encouraged to *maintain* and enhance the District's park-like setting.
- (d) Historic topographical and grading patterns should be *maintained* when undertaking alterations to buildings and landscapes and when constructing new buildings or additions.

#### EXAMPLE: LANDSCAPE HERITAGE ATTRIBUTES AROUND A NON-CHARACTER-DEFINING BUILDING



While 70 Main Street South features a Non-Character-Defining Building, the mature trees, softscaping (i.e. greenery and other plantings) building siting and remnant river-valley topography on the lot all contribute to the District's landscape value. (Source: ERA)

## 5.8.2 DRIVEWAYS, LANEWAYS AND WALKWAYS

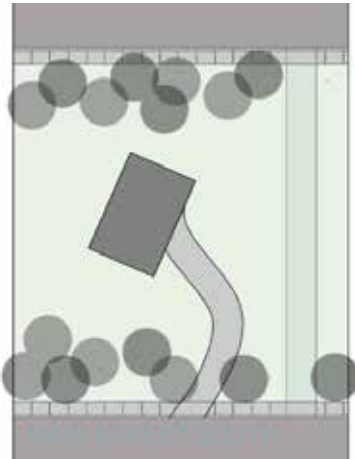
- (a) Existing pedestrian walkways from the street to the front entrance that are the primary access to the house should be *maintained*. Driveways should be used for secondary access.
- (b) Laneways that provide access to properties from Elizabeth Street should be *maintained*.
- (c) All access routes should *maintain* the general style or typology of historic approaches to main buildings. Predominant types within the District are illustrated on the following page.
- (d) Natural landscapes should be *maintained* and the introduction of hardscape elements such as driveways should be limited. This ensures that hardscaping appears subordinate to greenery on the property.
- (e) Using a paving treatment (i.e. stone or brick unit pavers, etc.) to distinguish walkways from driveways is encouraged.
- (f) The use of traditional and permeable paving materials, such as stone or gravel, is encouraged to complement the character of the house.
- (g) Any regrading of the existing topography to create driveways sloping below grade, or basement level parking, should be avoided.
- (h) Parking should be located to the side or rear of the main building.



## PREDOMINANT DRIVEWAY TYPES IN THE DISTRICT

### MEANDERING

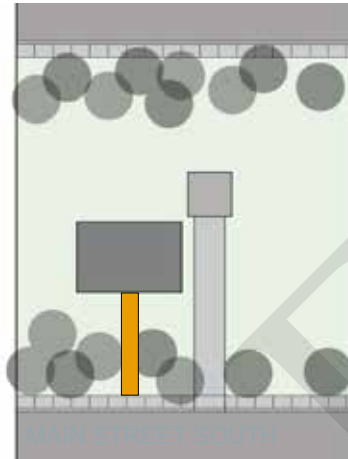
Often on older estate lots with changes in topography.



Meandering driveway at 63 Main Street South. (Source: ERA)

### PERPENDICULAR

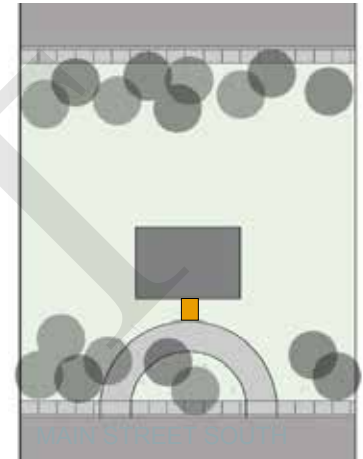
The driveway and walkway are separate.



Walkway at 117 Main Street South is distinguishable from driveway. (Source: ERA)

### CURVILINEAR

Often found on properties with post-war suburban style homes.



Curvilinear driveway at 78 Main Street South. (Source: ERA)

**EXAMPLE: LOW, OPEN FENCING**



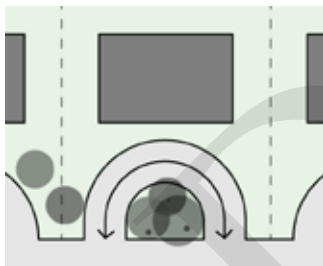
Example of an appropriate front yard fence at 56-58 Main Street South (City of Brampton).

**5.8.3 LANDSCAPE FILTERS, FENCING AND SCREENS**

- (a) The mature canopy trees in landscaped areas and particularly in front and side yards should be *maintained*, as they provide a visual filter between the street and the house.
- (b) Historic fence types, such as decorative metal or wood pickets in front yards with an open appearance and a pedestrian scale should be used.
- (c) Consider natural landscape enclosures, such as low hedges, over the installation of fencing.
- (d) Chain-link fences, solid wood stockade fences, block walls, high hedges and other solid screening should be avoided. Fences in front yards should avoid obstructing views of the yard and residence wherever possible.
- (e) Low fence and hedge heights should be *maintained* along the side yard as far as necessary to provide an unobstructed view of the front yard and the front façade of the house.

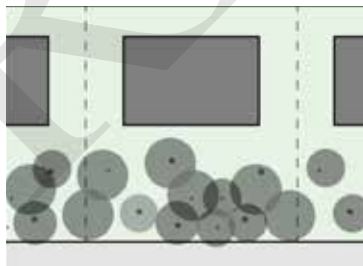
**TYPES OF LANDSCAPE FILTERS AND SCREENS**

A) Landscaped Berm



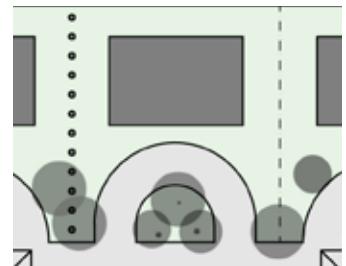
Example of a landscaped berm. (Source: ERA)

B) Scattered trees in front yard



Example of scattered trees as a landscape filter at 76 Main Street South. (Source: ERA)

C) Hedges/fences as screens



Examples of hedgerow trees and decorative metal fences between properties within the District. (Source: ERA)

#### 5.8.4 DECORATIVE LANDSCAPE ELEMENTS

- (a) High-quality materials, such as natural stone, wood, and metal, should be used as decorative landscape elements. The use of large decorative elements not commonly found in the area should be avoided.
- (b) Decorative elements should be designed and located in accordance with the overall character of the property. Landscape elements should serve to enhance the design of the landscape and buildings. This can include framing the main building, marking an arrival point or walkway, integrating grading or natural features, or adding a focal point to a site.
- (c) When landscaping, avoid the use of new impermeable paving materials, or any decorative elements that will significantly disturb the existing topography.

#### BEST PRACTICES: DECORATIVE ELEMENTS



Example of landscape berms decorating the front yard of 71 Main Street South (Source: City of Brampton)



Low stone columns delineate the entrance to the site while not visually competing with or blocking views to the home. (Source: ERA)

#### 5.8.5 TREE CANOPY

- (a) The City of Brampton's Tree Preservation By-law should be consulted at the time of any construction or landscape work on site.
- (b) New trees should be located to *maintain* the park-like character of the District.
- (c) Replacement trees should include a variety of native species, avoiding monoculture planting. Native species include: sugar maple, red maple, red oak, white oak, bur oak, sycamore and honeylocust. Other tree varieties that are found regionally and have proven to be appropriate and well adapted to the local soil and climate conditions are also appropriate.

For further advice and guidance regarding appropriate species and procedures governing the installation of plant material and trees, please contact City of Brampton staff or a professional arborist or landscape architect.

#### BEST PRACTICE: CONSERVE HISTORIC LANDSCAPE CHARACTER IN THE DISTRICT



Tree-lined Main Street South, date unknown. (Source: City of Brampton)



Tree spacing maintains the park like setting of the District and permits sightlines to houses (Source: City of Brampton)

## 5.9 LOT SEVERANCE AND ASSEMBLY

(a) Consent applications will be evaluated on a case-by-case basis. As per Brampton's planning policies, lot severance is only considered appropriate where:

- The newly-created lot can be accessed from a public right-of-way other than Main Street South;
- The retained lot conserves its original access from Main Street South and, where relevant, Elizabeth Street;
- It is possible to site residences on both lots in a way that is compatible with the existing building's siting, if siting is included as a Landscape Heritage Attribute on the property's Statement of Contribution; and,
- All standard requirements of policy and legislation have been met to the City's satisfaction.

## 5.10 GENERAL MAINTENANCE

- (a) All general *maintenance* should be conducted with attention to the City of Brampton's Minimum Maintenance By-Law 104-96, as amended, which provides guidance on the minimum *maintenance* requirements for heritage buildings.
- (b) Property owners should conduct routine inspections of Character-Defining Buildings to ensure deterioration, damage or weathering is addressed at an early stage. Property owners are encouraged to develop and undertake a regular *maintenance* plan, as simple *maintenance* can greatly extend the service life of property elements.
- (c) Protect and *maintain* original roofs on Character-Defining Buildings with annual cleaning of gutters, downspouts, and rainwater leaders, and replacing deteriorated flashing in order to keep buildings watertight and prevent deterioration of cladding and decorative elements.
- (d) Clean masonry on Character-Defining Buildings only when necessary to remove heavy soiling. Cleaning methods should be as gentle as possible to obtain satisfactory results. Commence cleaning only after it has been determined that a specific cleaning method is appropriate.
- (e) When cleaning masonry on Character-Defining Buildings, use recognized *preservation* methods and products. Select lighter treatments with minimal chemical impacts on masonry surfaces, and use low-pressure washes to limit water penetration into mortar and damage to masonry surfaces.
- (f) *Maintaining* the natural patina of masonry surfaces and other cladding materials is encouraged. Limit cleaning to the removal of heavy surface soiling or graffiti, or the prevention of masonry damage (e.g. the removal of mold or lichens).
- (g) Consult the resources identified in Section 8.0 of this Plan, such as the *Standards and Guidelines for the Conservation of Historic Places in Canada*, the National Park Service's *Preservation Brief 47* and the Ontario Heritage Foundation's *Manual of Principles and Practice for Architectural Conservation* (Mark Fram), for guidance on a Character-Defining Building's *maintenance* and repairs.

**AVOID: HARMING THE TREE CANOPY**



Widening of the roadway has encroached on this tree's root system. (Source: ERA)

**AVOID: UTILITIES WITHOUT SCREENING**



Installation of public utilities on Main Street South impacts the heritage character of the streetscape. (Source: ERA)

**BEST PRACTICE: SYMPATHETIC STREET FURNITURE**



Coach lanterns with hanging flower pots contribute to the streetscape character of the District. (Source: ERA)

## 5.11 PUBLIC WORKS

- (a) *Public works*, including transit infrastructure and utilities, should be designed and installed in ways that *maintain* the *Heritage Attributes* of the District.
- (b) Roadway widening should be avoided to ensure the *conservation* of the mature tree canopy along Main Street South.
- (c) Transit shelters and waiting areas should be designed and located in a manner that conserves and enhances the character of the District, and is compatible with the District's Built *Heritage Attributes*.
- (d) A design for street lighting should be developed to be in keeping with the District's character.
- (e) The addition of street furniture should be sympathetic to the character of the District and provide continuity with existing street furniture and other streetscape improvements, such as the existing iron street lamp.
- (f) Street furniture should be built of high-quality materials, such as painted metal or wood, and should avoid the use of plastics.
- (g) Above-ground utilities should be designed to minimize their visibility from the street through screening, placement, or other appropriate measures.
- (h) Signs should be limited in number to avoid visual cluttering effects.
- (i) Where new signage is necessary, the design and location of the signage shall complement the character of the District and minimize impact on the area's aesthetic qualities.

- (j) Remnants of the retaining wall and bridge posts at the front lawns of 52, 56, and 58 Main Street South should be used as part of a future heritage interpretation program. They are *Heritage Attributes* of the District, providing important physical evidence of the historic character of the District prior to the Etobicoke Creek diversion.

REMNANTS OF THE ETOBICOKE CREEK DIVERSION



Historic photograph of the driveway bridge from the street to 58 Main Street South (Source: PAMA).



Remaining bridge piers at 58 Main Street South (Source: ERA).



Remaining retaining wall at 56 and 58 Main Street South (Source: ERA).

## 6.0 PROCEDURES

### 6.1 HERITAGE PERMIT PROCESS

#### 6.1.1 WHAT IS A HERITAGE PERMIT?

A heritage permit is issued by the City of Brampton for exterior alterations that may affect the *cultural heritage value* and *Heritage Attributes* of the District.

The heritage permit process enables the City of Brampton to:

- Monitor the *conservation* of the District;
- Manage change within the District; and
- Help ensure new work *conserves* the District's *cultural heritage value* and *Heritage Attributes*, and supports the Objectives of the District Plan.

#### 6.1.2 WHEN IS A HERITAGE PERMIT REQUIRED?

The legal basis for a heritage permit is found in the *Ontario Heritage Act* and the City of Brampton Official Plan. Section 4.10.3 of the Official Plan states that a heritage permit is required for alterations in a Heritage Conservation District.

A heritage permit is required prior to any work likely to result in the alteration, obstruction, removal, or damage of one or more *Heritage Attributes* on a property designated under the *Ontario Heritage Act*. This includes any work that would also require a building permit, demolition permit or other formal approval by the City of Brampton, Toronto and Region Conservation Authority, and/or other levels of government.

Stakeholders proposing work within the District should contact a City of Brampton Heritage Planner prior to the outset of the project to determine if the proposed work requires a heritage permit. City of Brampton Heritage Staff can also assist in navigating the application process for heritage permits, alongside other planning and development approvals that may be required for the proposed work.



There are three types of work that can occur in the District:

a) Work that does not require a Heritage Permit

A heritage permit is not required if the proposed work constitutes regular *maintenance* or repairs that are minor in nature.

b) Minor Heritage Permit Work

A minor heritage permit is required when small changes to a property are proposed that will generally have a positive or negligible impact on the *cultural heritage value* of the District, and that follow the intent of the Objectives of this Plan. Approval of minor heritage permit applications may be granted by City of Brampton Heritage Staff.

If Heritage Staff determine that an application is not consistent with the District Plan, the application will be reviewed by the Brampton Heritage Board and the Planning & Development Services Committee, and ultimately approved or denied by City Council.

c) Major Heritage Permit Work

A major heritage permit is required when significant changes to a property in the District are proposed that may have a major impact on the *cultural heritage value* of the District. Major heritage permit applications are reviewed by the Brampton Heritage Board and the Planning & Development Services Committee, and ultimately approved or denied by City Council.

The following chart identifies the level of permission required for various types of work in the District. Types of work that do not require a heritage permit are also identified, as required by the *Ontario Heritage Act*.

TYPE OF WORK		DOES NOT REQUIRE HERITAGE PERMIT	MINOR HERITAGE PERMIT	MAJOR HERITAGE PERMIT
<b>MAINTENANCE AND REPAIRS</b>	Minor repairs using the same materials, finishes and profiles of existing exterior features, including: <ul style="list-style-type: none"> <li>•wall cladding</li> <li>•windows</li> <li>•doors</li> <li>•transoms and sidelights</li> <li>•sills and lintels</li> <li>•window and door surrounds</li> <li>•shutters</li> <li>•dormers</li> <li>•chimneys</li> <li>•decorative wood</li> <li>•brackets</li> <li>•eaves</li> <li>•soffits</li> <li>•fascia</li> <li>•cornices</li> <li>•columns</li> <li>•balustrades</li> <li>•porches</li> <li>•steps</li> <li>•rain gutters and downspouts</li> <li>•fences</li> <li>•foundations</li> <li>•roofing and flashing</li> <li>•roof shingles</li> </ul>	✓		
	Structural repairs on a Non-Character-Defining Building, or those that do not affect the exterior visible from Main Street South or the overall structural integrity of a Character-Defining Building	✓		
	Structural repairs that affect the exterior of a building visible from Main Street South, or may negatively impact the overall structural integrity of a Character-Defining Building		✓	
	Weatherproofing including caulking, weather stripping and insulating	✓		

TYPE OF WORK		DOES NOT REQUIRE HERITAGE PERMIT	MINOR HERITAGE PERMIT	MAJOR HERITAGE PERMIT
<b>ALTERATIONS</b>	Interior work provided that it does not impact the exterior	✓		
	Alterations to, or replacement of, exterior Character-Defining Building elements visible from Main Street South, including but not limited to: <ul style="list-style-type: none"> <li>•wall cladding</li> <li>•windows and window openings</li> <li>•window surrounds</li> <li>•doors and door openings</li> <li>•door surrounds</li> <li>•transoms and sidelights</li> <li>•sills and lintels</li> <li>•shutters</li> <li>•dormers</li> <li>•chimneys</li> <li>•decorative wood</li> <li>•brackets</li> <li>•eaves</li> <li>•soffits</li> <li>•fascia</li> <li>•cornices</li> <li>•columns</li> <li>•balustrades</li> <li>•balconies</li> <li>•verandahs</li> <li>•porches and patios</li> </ul>		✓	
	Alterations to, or replacement of, exterior building elements on a Non-Character-Defining Building, or on a Character-Defining Building where they are not visible from Main Street South	✓		
<b>REMOVAL</b>	Relocation of a building or structure			✓
	Demolition of a building or structure			✓

TYPE OF WORK		DOES NOT REQUIRE HERITAGE PERMIT	MINOR HERITAGE PERMIT	MAJOR HERITAGE PERMIT
NEW CONSTRUCTION	Additions to an existing building or structure			✓
	Construction of a small accessory building or structure (e.g. patio, gazebo, toolshed) provided that it does not require a building permit and is not visible from Main Street South	✓		
	Construction of a new building or structure requiring a building permit, and/or that is visible from Main Street South			✓
CLADDING	Exterior painting of wood, stucco or metal finishes	✓		
	Re-pointing, replacing, paint removal, cleaning, or painting previously unpainted masonry on Character-Defining Buildings		✓	
	Re-pointing, replacing, paint removal, cleaning, or painting previously unpainted masonry on Non-Character-Defining Buildings	✓		
LANDSCAPING	Removing and replacing trees (regulated under the Tree Preservation By-law 217-2012)	✓		
	Repaving of walkways and driveways within an existing paved area	✓		
	The widening of any walkways and driveways, the introduction of new walkways or driveways, or any other work involving the creation of paved surfaces visible from Main Street South		✓	
	Installing pools, ponds, fountains and sculptures not visible from the Main Street South	✓		
	Installing pools, ponds, fountains and sculptures visible from Main Street South		✓	
	Installing landscaping, including gardening and tree planting, that does not require heavy machinery, and will not significantly alter the topography or appearance of the property from Main Street South	✓		
	Installing landscaping, including gardening and tree planting that requires heavy machinery and/or significantly alters the topography of the property as seen from Main Street South;		✓	

TYPE OF WORK		DOES NOT REQUIRE HERITAGE PERMIT	MINOR HERITAGE PERMIT	MAJOR HERITAGE PERMIT
MINOR INSTALLATIONS	Minor installations, including small satellite dishes, lighting, flagpoles, skylights, vents, and mechanical and electrical equipment, etc. provided that they are not visible from Main Street South	✓		
	Installation of new signage, satellite dishes, flagpoles, skylights, vents, mechanical and electrical equipment, etc. visible from Main Street South and/or which alters the property's <i>Heritage Attributes</i>		✓	
PUBLIC WORKS	Reconstruction in the road right-of-way		✓	
	Laying of new sidewalk or public walkways		✓	
	Installation of new street lighting		✓	
	Construction of transit shelters			✓
	Placement of new street furniture		✓	
	Building electrical transmission vaults or other public utility infrastructure		✓	
	Erection of new structures in Gage Park			✓
	Alteration of the layout of Gage Park			✓
	Installation of multi-modal transportation infrastructure			✓

Figure 5: Chart identifying the heritage permits required for various types of work in the District. Includes a list of works that do not require a heritage permit. (Source: ERA)

### 6.1.3 HOW DOES THE HERITAGE PERMIT PROCESS WORK?

Property owners who are considering alteration work on their buildings or landscapes should always begin by consulting with City of Brampton Heritage Staff, who can help determine if a heritage permit is required.

The appropriate heritage permit application should be submitted to Brampton Heritage Staff at the Planning and Development Services Department. There is no fee charged for a heritage permit application.

Once the application is submitted, the proposed work will be reviewed by Brampton Heritage Staff, and sometimes by additional approvals bodies (Brampton Heritage Board, Planning and Development Committee, and City Council), depending on the type of permit and content of the application.

Brampton's City Council has delegated City Staff the authority to approve **minor** heritage permits, and other works in specific circumstances, in accordance with the *Ontario Heritage Act*. If City Staff determine in their discretion that a minor heritage permit application does not comply with the Plan or does not satisfy the requirements for delegated authority to Staff as set out in the City's in-force delegation by-law, the application will be subject to the full heritage permit review and evaluation process.

A flow-chart on the following page explores the minor and major heritage permit process in detail.

Applicants must be aware that proposed work that requires a heritage permit often requires other types of permits as well (e.g. development approvals, building permits, tree removal permits).

Properties in the District are subject to all municipal regulations, and applicants are responsible for determining each of the permits that are required on any given project.

For further clarity on Brampton's heritage permit process and the intersection of heritage permits and other types of development approval, please contact City of Brampton Heritage Staff at the Planning & Development Services Department.

# THE HERITAGE PERMIT PROCESS

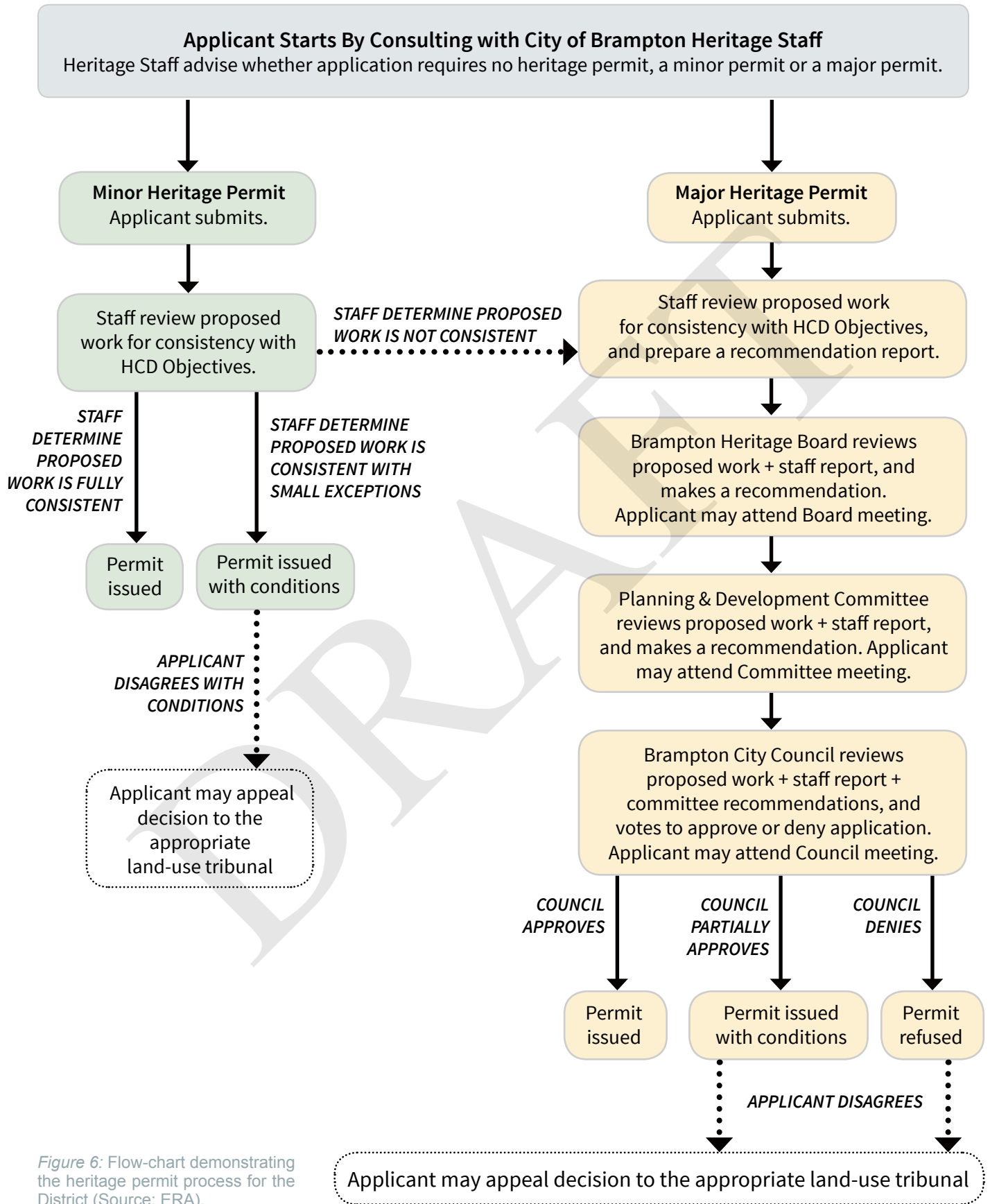


Figure 6: Flow-chart demonstrating the heritage permit process for the District (Source: ERA).

#### 6.1.4 HERITAGE PERMIT APPLICATION SUBMISSION REQUIREMENTS

As identified in Section 6.1.2, depending on the scope of work proposed, a heritage permit may be required. Completing the heritage permit application form in full and providing all the required information/documentation will expedite the approvals process.

An incomplete application cannot be processed and the official notice of receipt (as required under the *Ontario Heritage Act*) will not be issued until all the documents/materials have been submitted and the application is deemed complete by the City.

The following chart identifies the instances under which a number of different types of documentation will be required. Applicants are encouraged to contact City of Brampton Heritage Staff prior to submitting an application to confirm these requirements.

The submission of electronic copies of drawings and photos, in addition to hard copies, is encouraged.

#### 6.1.6 HOW LONG DOES THE PERMIT REVIEW PROCESS TAKE?

Once a complete permit application is received, the City is to serve a notice of receipt to the applicant. City Council (or delegated Heritage Staff) is required to make its decision regarding the merits of an application within 90 days. If mutually agreed upon, an extension can be granted. The standard procedure is for the City to notify the applicant when a decision is made.

#### 6.1.7 APPEALING A DECISION

The *Ontario Heritage Act* Sections 42(6) and (7) states that if Council refuses an application or grants a heritage permit with conditions, once the owner is given notice, the owner can appeal the decision within 30 days to the appropriate land-use tribunal.



## HERITAGE PERMIT APPLICATION SUBMISSION REQUIREMENTS

DOCUMENT	DETAILED REQUIREMENT	MINOR HERITAGE PERMIT	MAJOR HERITAGE PERMIT
Drawings / Plans	Folded to 8.5 x 11" paper size, if possible, and measured in metric scale		✓
Registered Survey	Prepared by a licensed Ontario Land Surveyor and up to date. All existing easements and right-of-ways should be shown		✓
Site Plans	Existing and proposed structure(s)/ addition(s) on the lot, setbacks from front, rear and side lot lines, proposed demolition of existing site features, and location of proposed site features such as accessory structures, parking spaces, driveways, walls, gates, fences, trees, retaining walls, hydro poles, and fire hydrants		✓
Building Elevations	All elevations of the proposed addition(s)/ alteration(s). Details to include building height, existing and proposed grade, location, design and materials of foundations, cladding, windows, doors, porches, dormers, chimneys, and other architectural features, roof slope and materials		✓
<i>Heritage Impact Assessment</i>	For larger scale projects, including major additions, new construction, building relocation, demolition, or large <i>public works</i>		✓
	For the removal of <i>Heritage Attributes</i>	✓	✓
Certified Arborist Report	When tree removal is proposed, specifically the removal of trees larger than 20 cm caliper (diameter) measured at 1.37 metres height from the ground only	✓	✓
Photographs	In colour and labelled showing the existing building and neighbouring buildings or streetscapes; photographs of the specific area(s) being altered	✓	✓
Material Specifications	Samples, brochures, etc. of proposed materials, and finishes	✓	✓

Figure 7: Chart identifying the components that may be required for a heritage permit application submission (Source: ERA)

## 6.2 DEVELOPMENT ADJACENT TO THE HCD

Any *development* proposal outside but adjacent to the District boundary shall comply with Section 2.6.3 of the Ontario Provincial Policy Statement (2014), which states:

*“Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the Heritage Attributes of the protected heritage property will be conserved” (p29).*

The City of Brampton’s municipal policies, including the Official Plan (Section 4.10.3.14), are consistent with the Provincial Policy Statement, and they elaborate on the *development* approval requirements for lands adjacent to cultural heritage resources such as HCDs.

## 6.3 HERITAGE GRANT PROGRAM

Properties designated under the *Ontario Heritage Act* are eligible for the “Designated Heritage Property Incentive Grant Program”.

The grant is intended to encourage and assist with the *preservation, maintenance* and *restoration* of designated properties. The grant offers funds to cover half of the cost of eligible *conservation* work up to a maximum of \$5,000, subject to available funding, on the condition that the grant is matched by the property owner.

Projects are to focus on the *maintenance* and *rehabilitation* of existing *Heritage Attributes* or *restoration* that contributes to the *cultural heritage value* of the property and District.

Applications for the “Designated Heritage Property Incentive Grant Program” are available on the City of Brampton’s Heritage website, and in hard copy from City of Brampton Heritage Staff at the Planning & Development Services department.

## 6.4 LOCAL HERITAGE ADVISORY COMMITTEE

Under the *Ontario Heritage Act*, local stakeholders and the City are permitted to establish a Local Heritage Advisory Committee, whereby stakeholders could lead or participate in the evaluation of proposed work in the District.

The City of Brampton has established the Brampton Heritage Board as its Local Heritage Advisory Committee. The Brampton Heritage Board provides recommendations to the Planning and Development Committee and City Council regarding applications in the District. All proposed *public works* projects and heritage matters on planning applications in and adjacent to the District are circulated to the Board for review and comment.

The Brampton Heritage Board is comprised of interested public stakeholders, including representative members from within Brampton's HCDs. City of Brampton Heritage Staff will provide information and assistance to any District stakeholder interested in becoming involved with the Brampton Heritage Board.

## 6.5 REVIEW OF THE DISTRICT PLAN

Periodic reviews of the District Plan will be undertaken, and should include substantive community involvement and feedback.

District Plan reviews will evaluate the effectiveness of the District Policies and Guidelines, ensure consistency with relevant City policies, and update the inventory of Character-Defining and Non-Character-Defining Buildings.

In the interim, the City of Brampton should maintain an inventory of heritage permit applications since the District Plan has come into effect, which will provide a record of alterations to properties in the District. This inventory can then be used to inform District Plan review processes, and evaluate how change has been managed in the District.

## 7.0 DEFINITIONS

The following Definitions address terms that are commonly used throughout this Plan. They are sourced from higher-level documents, including policy and legislation, that currently govern or inform planning and heritage work in Brampton.

**Conservation:** All actions or processes that are aimed at safeguarding the character defining elements of a cultural resource so as to retain its *heritage value* and extend its physical life. This may involve “*Preservation*,” “*Rehabilitation*,” “*Restoration*,” or a combination of these actions or processes. (Source: Standards and Guidelines for the Conservation of Historic Places in Canada, pg. 253)

**(Cultural) Heritage Value:** the aesthetic, historic, scientific, cultural, social or spiritual importance or significance for past, present and future generations. The *heritage value* of a historic place is embodied in its character-defining materials, forms, location, spatial configurations, uses and cultural associations or meanings. (Source: Standards and Guidelines for the Conservation of Historic Places in Canada, Heritage Value Definition, pg. 254).

**Development:** means the creation of a new lot, a change in land use, or the construction of buildings and structures, requiring approval under the *Planning Act*, but does not include: a) activities that create or maintain infrastructure authorized under an environmental assessment process; and b) works subject to the Drainage Act. (Source: Provincial Policy Statement, 2014)

**Heritage Attributes:** means, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their *heritage value* or interest. (Source: *Ontario Heritage Act*, R.S.O. 1990, c. O.18)

**Heritage Impact Assessment:** a study to determine the impacts to known and potential heritage resources within a defined area proposed for future development. (City of Brampton Heritage Impact Assessment Terms of Reference, pg. 1)

**In kind:** with the same form, material, and detailing as the existing. (Source: Standards and Guidelines for the Conservation of Historic Places in Canada, pg. 254)

**Maintenance:** Routine, cyclical, non-destructive actions necessary to slow the deterioration of a historic place. It entails periodic inspection; routine, cyclical, non-destructive cleaning; minor repair and refinishing operations; replacement of damaged or deteriorated materials that are impractical to save. (Source: Standards and Guidelines for the Conservation of Historic Places in Canada, pg. 254).

**Preservation:** the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place, or of an individual component, while protecting its heritage value. (Source: Standards and Guidelines for the Conservation of Historic Places in Canada, pg. 17).

**Public Works:** any improvement of a structural nature or other undertaking that is within the jurisdiction of the council of a municipality or local board. (Source: *Planning Act*, R.S.O. 1990, c. P. 13, Section 1(1))

**Rehabilitation:** the action or process of making possible a continuing or compatible contemporary use of a historic place, or an individual component, while protecting its heritage value (Source: Standards and Guidelines for the Conservation of Historic Places in Canada, pg. 17).

**Restoration:** the action or process of accurately revealing, recovering or representing the state of a historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its *heritage value*. (Source: Standards and Guidelines for the Conservation of Historic Places in Canada, pg. 255).

**Site Alteration:** means activities, such as grading, excavation and the placement of fill that would change the landform and natural vegetative characteristics of a site. (Source: Provincial Policy Statement, 2014)

## 8.0 RESOURCES

### BEST PRACTICES FOR HERITAGE CONSERVATION

Standards and Guidelines for the Conservation of Historic Places in Canada by Parks Canada.

Eight Guiding Principles in the Conservation of Built Heritage Properties by the Ministry of Culture.

Preservation Briefs by the US Department of the Interior National Park Service.

Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation by Mark Fram.

### PLANNING DOCUMENTS

City of Brampton, 2017. Downtown Brampton Secondary Plan (Secondary Plan Area 7).

City of Brampton, 2006. Official Plan.

City of Brampton By-law No. 317-2012, Tree Preservation.

City of Brampton Zoning By-law No. 270-2004.

*Ontario Heritage Act*, R.S.O. 1990, c. O.18.

### ONTARIO ARCHITECTURAL STYLE GUIDES

A Guide to Canadian Architectural Styles, Second Edition by Shannon Ricketts, Leslie Maitland and Jacqueline Hucker.

Ontario Architecture: A Guide to Styles and Building Terms, 1784 to the Present by John J.G Blumenson.

Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes by Robert Mikel

### HISTORY OF BRAMPTON

City of Brampton. A Walk Through Time, Downtown Heritage Walking Tour.

City of Brampton. Brampton's 100th Anniversary 1873-1973. Brampton: Charters Publishing, 1973.

Loverseed, Helga. Brampton, An Illustrated History. Burlington, Ontario: Windsor Publications (Canada) Ltd. 1987.

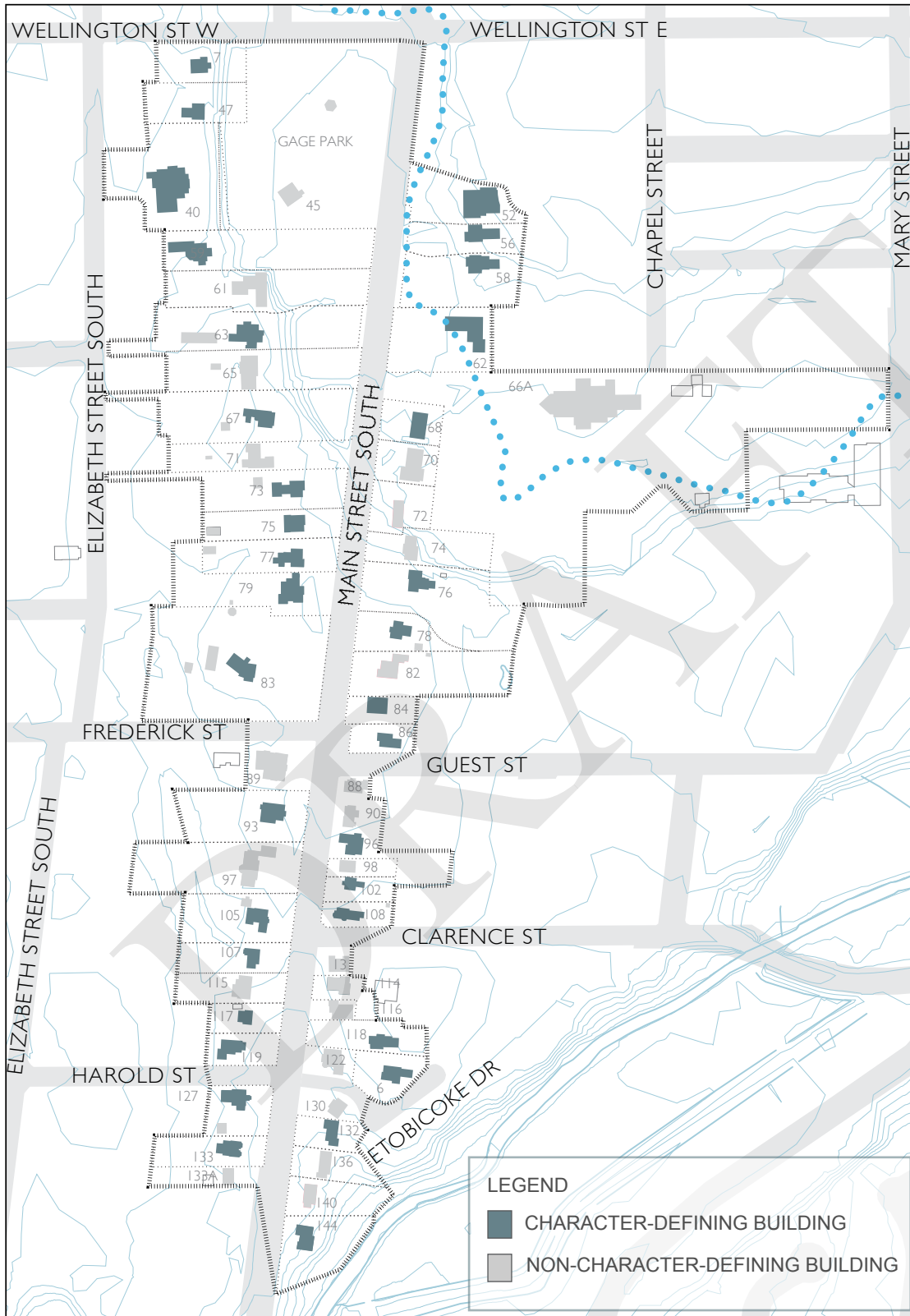
Main Street South District Study. ERA Architects. 2014.



# APPENDIX A

STATEMENTS OF CONTRIBUTION

# REFERENCE MAP OF PROPERTIES



Map identifying Character-Defining and Non-Character Defining Buildings (Source: ERA).

## 13 CLARENCE STREET

PROPERTY INFORMATION	
Build Date	1950-1970
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 40 ELIZABETH STREET (ALDERLEA)

PROPERTY INFORMATION	
Build Date	1867
Part IV Designation	Yes (By-Law #281-2001)
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's side yard.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>2.5-storey height</li> <li>Buff brick cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Italianate-style design</li> <li>Former residence of Kenneth Chisholm, business leader and MPP</li> </ul>



Source: City of Brampton



## 6 ETOBICOKE DRIVE

PROPERTY INFORMATION	
Build Date	1924-1931
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b> <ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which represents a remnant estate lot among later urban town lots.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b> <ul style="list-style-type: none"> <li>2.5-storey height</li> <li>Red brick cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Queen Anne-style design</li> <li>Former estate of Harper Bull, three-time Brampton Mayor, and Justice of the Peace</li> </ul>



## GAGE PARK (45 MAIN STREET SOUTH)

PROPERTY INFORMATION	
Date Established	1903
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b> <ul style="list-style-type: none"> <li>Use as a public park adjacent to Brampton's historic institutional core.</li> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees throughout the park.</li> <li>The park's existing sloped grading.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b> <p>There are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Any new construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 47 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1931-1940
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>2.5-storey height</li> <li>Brick cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Edwardian-style design</li> </ul>



## 52 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1865
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>2.5-storey height</li> <li>Buff brick cladding with red brick detailing</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Italianate-style design</li> <li>Former residence of the Stork family and of George Bull</li> </ul>



Source: PAMA

## 56 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1880
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The remnant Etobicoke Creek infrastructure on site.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>2.5-storey height</li> <li>Red brick cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Italianate-style design</li> <li>Former residence of the Stork and Hewetson families.</li> </ul>



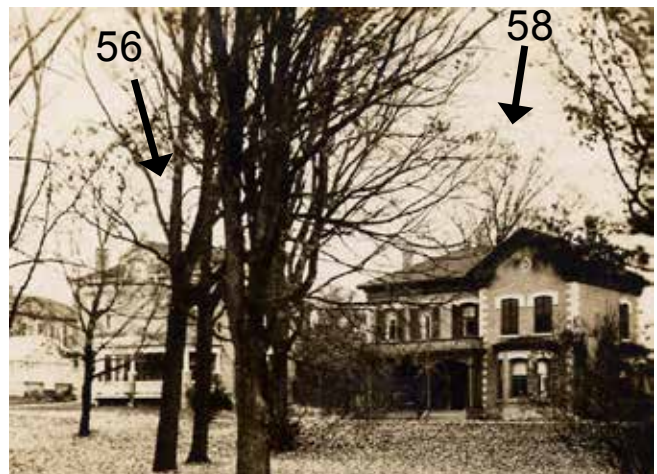
Source: PAMA

## 58 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1881
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The remnant Etobicoke Creek infrastructure on site.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>2-storey height</li> <li>Red brick cladding with buff brick detailing</li> <li>Pitched roof</li> <li>Original architecture features that contribute to the building's Italianate-style design</li> <li>Former residence of the Stork and Robinson families</li> </ul>



Source: PAMA

## 59 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1876
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>2-storey height</li> <li>Red brick cladding with buff brick detailing</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Tudor Revival-style design</li> </ul>



Source: PAMA

## 61 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1950s
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 62 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1950-1970
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>1-storey height</li> <li>Buff brick cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Ranch-style design</li> </ul>



## 63 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1901-1926
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>2.5-storey height</li> <li>Red brick cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Revival-style design</li> </ul>



*Rowanbank, Main St. South, Brampton, Ont. Canada.*

Source: PAMA

## 65 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1950-1980
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 66A MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1960
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



Source: PAMA

## 67 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1871
Part IV Designation	Yes (By-Law #176-1986)
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>2-storey height</li> <li>Red brick cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Gothic Revival-style design</li> <li>Former residence of George Green, first Crown Attorney for Peel County, John Smith, MPP, and James R. Fallis, MPP</li> </ul>



Source: Dr. Bruce Cameron

## 68 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1956-1970
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>1-storey height</li> <li>Stone cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Ranch-style design</li> </ul>



## 70 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1950-1980
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 71 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	Unknown.
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>





## 72 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1957
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 73 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1860
Part IV Designation	Yes (By-Law #05-2016)
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>2-storey height</li> <li>Stucco cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Gothic Revival-style design</li> <li>Former residence of the Heggie family</li> </ul>



## 74 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1965-1980
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 75 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1900
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>2-storey height</li> <li>Brick cladding with wood-frame detailing</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's vernacular Victorian design</li> </ul>



## 76 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1875
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>2-storey height</li> <li>Originally clad in stucco, wood frame or brick</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's vernacular Victorian design</li> <li>Former residence of the Clark, Austin and Jackson families, and of F. W. Wegenast, former Brampton Mayor</li> </ul>

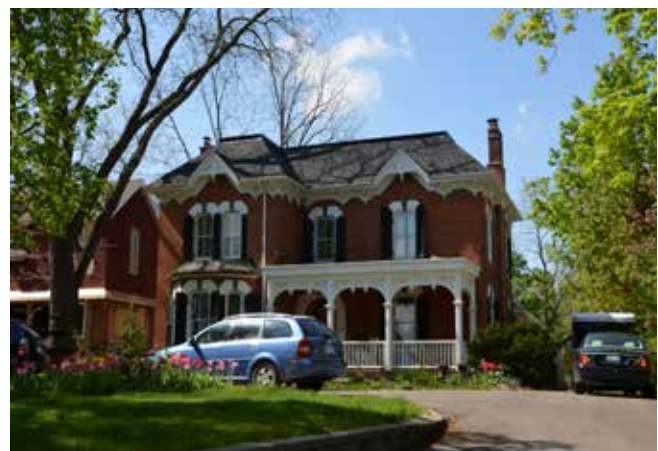


## 77 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1877
Part IV Designation	Yes (By-Law #70-2010)
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>2-storey height</li> <li>Red brick cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Italianate-style design</li> <li>Former residence of James A. Austin, first County Clerk, and James Golding, former Brampton Councillor and Mayor</li> </ul>



## 78 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1920-1940
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>2-storey height</li> <li>Originally clad in brick</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Edwardian-style design</li> </ul>



## 79 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1890
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>2-storey height</li> <li>Originally clad in red brick</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Shingle-style design</li> <li>Former residence of Thomas Duggan</li> </ul>



## 82 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1920-1940
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 83 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1920
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which represents a remnant estate lot among later urban town lots.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>2-storey height</li> <li>Stucco cladding with stone detailing</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Arts &amp; Crafts-style design</li> <li>Former residence of Thomas Duggan (and designed by architect Mackenzie Waters)</li> </ul>



Source: PAMA

## 84 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1860
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>1.5-storey height</li> <li>Brick cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Colonial Revival-style design.</li> </ul>



## 86 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1900
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>2.5-storey height</li> <li>Red brick cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Edwardian-style design</li> </ul>



## 88 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1945-1980
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 89 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1980s
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 90 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1940-1955
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 93 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1874
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>2-storey height</li> <li>Stucco cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Italianate-style design</li> <li>Former residence of Lieutenant-Colonel Cecil M. Corkett, a WWI veteran who became Postmaster of Brampton in 1932</li> </ul>





## 96 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1900-1940
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>2-storey height</li> <li>Red brick cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's vernacular Victorian design</li> </ul>



## 97 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	Unknown.
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 98 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1940-1955
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature tree within the property's front yard.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 102 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1870-1888
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature tree within the property's front yard.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>1-storey height</li> <li>Originally clad in brick or wood frame</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Gothic Revival-style design</li> </ul>



## 105 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	Unknown.
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>2-storey height</li> <li>Brick cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's vernacular Victorian design</li> </ul>



## 107 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1940-1960
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>1.5-storey height</li> <li>Stucco cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Wartime Housing-style design</li> </ul>



## 108 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1887
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>2-storey height</li> <li>Red brick with buff brick detailing</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Italianate-style design</li> </ul>



## 114 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1950
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 115 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1960-1980
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 116 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1950-1980
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front yard.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 117 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1941-1970
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>1.5-storey height</li> <li>Wood frame cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Dutch Colonial Revival-style design</li> </ul>



## 118 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1890s
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which represents a remnant estate lot among later urban town lots.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>2.5-storey height</li> <li>Red brick cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Queen Anne-style design</li> <li>Former estate of Harper Bull, three-time Brampton Mayor, and Justice of the Peace</li> </ul>



## 119 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1900
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>2-storey height</li> <li>Originally clad in brick with shingle detailing</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's vernacular Victorian design</li> </ul>



## 122 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1980-2010
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 127 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1920
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>2.5-storey height</li> <li>Red brick cladding with stone detailing</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Edwardian-style design</li> </ul>



## 130 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1950-1990
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>





## 132 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1950-1980
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>1-storey height</li> <li>Buff brick cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Ranch-style design</li> </ul>



## 133 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1870-1880
Part IV Designation	Yes (By-Law #33-2006)
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>2-storey height</li> <li>Red brick cladding with buff brick detailing</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Gothic Revival-style design</li> <li>Former residence of David Kirkwood and family</li> </ul>



Source: PAMA

## 133A MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1950-1980
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front yard.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 136 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1950-1980
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 140 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1900-1940
Part IV Designation	No.
Character-Defining Building	No.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<p>The building on site is Non-Character-Defining, so there are currently no Built <i>Heritage Attributes</i> on site.</p> <p>Additions, alterations, replacement buildings or secondary construction on site must be consistent with the Built <i>Heritage Attributes</i> of the District.</p>



## 144 MAIN STREET SOUTH

PROPERTY INFORMATION	
Build Date	1880s
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
LANDSCAPE HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>Mature trees within the property's front and side yards.</li> <li>The property's existing sloped grading.</li> <li>The primary building's siting, which responds to an urban town lot subdivision plan.</li> </ul>
BUILT HERITAGE ATTRIBUTES ON SITE
<ul style="list-style-type: none"> <li>2-storey height</li> <li>Red brick cladding</li> <li>Pitched roof</li> <li>Original architectural features that contribute to the building's Gothic Revival-style design</li> </ul>



## 7 WELLINGTON STREET WEST

PROPERTY INFORMATION	
Build Date	1924-1931
Part IV Designation	No.
Character-Defining Building	Yes.

The Statement of Contribution below lists the District *Heritage Attributes* that are present on this property and visible from Main Street South.

STATEMENT OF CONTRIBUTION
<b>LANDSCAPE HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>• The existing amount of softscaping (i.e. green lawn, plantings) visible from Main Street South.</li> <li>• Mature trees within the property's front and side yards.</li> <li>• The property's existing sloped grading.</li> <li>• The primary building's siting, which responds to remnant river-valley topography on the lot.</li> </ul>
<b>BUILT HERITAGE ATTRIBUTES ON SITE</b>
<ul style="list-style-type: none"> <li>• 1-storey height</li> <li>• Red brick cladding</li> <li>• Pitched roof</li> <li>• Original architectural features that contribute to the building's Colonial Revival-style design</li> </ul>



DRAFT

